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**A MARKET STUDY OF:**

# **DAWNVILLE MEADOWS**

## **A MARKET STUDY OF:**

# **DAWNVILLE MEADOWS**

**161 Dawnville Road Northeast  
Dalton, Whitfield County, Georgia, 30721**

**Effective Date: October 17, 2018  
Report Date: October 23, 2018**

**Prepared for:  
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October 23, 2018

Mr. Ahmed Abdelhameed  
Development Associate  
Dominium  
2905 Northwest Boulevard, Suite 150  
Plymouth, MN 55441

Re: Application Market Study for Dawnville Meadows, located in Dalton, Whitfield County, Georgia

Dear Mr. Abdelhameed:

At your request, Novogradac & Company LLP performed a study of the multifamily rental market in the Dalton, Whitfield County, Georgia area relative to the above-referenced Low-Income Housing Tax Credit (LIHTC) project.

The purpose of this market study is to assess the viability of the proposed acquisition/rehabilitation of an existing 120-unit family LIHTC/market rate project. The Subject will be a newly renovated affordable LIHTC project, with 120 revenue generating units, restricted to households earning 60 percent of the Area Median Income (AMI) or less. The Subject is currently a LIHTC/market rate property that is being renovated with additional LIHTC equity. Post-renovation, all of the units will be restricted at the 60 percent AMI level. The following report provides support for the findings of the study and outlines the sources of information and the methodologies used to arrive at these conclusions.

The scope of this report meets the requirements of Georgia Department of Community Affairs (DCA), including the following:

- Inspecting the site of the proposed Subject and the general location.
- Analyzing appropriateness of the proposed unit mix, rent levels, available amenities and site.
- Estimating market rent, absorption and stabilized occupancy level for the market area.
- Investigating the health and conditions of the multifamily market.
- Calculating income bands, given the proposed Subject rents.
- Estimating the number of income eligible households.
- Reviewing relevant public records and contacting appropriate public agencies.
- Analyzing the economic and social conditions in the market area in relation to the proposed project.
- Establishing the Subject Primary and Secondary Market Area(s) if applicable.
- Surveying competing projects, Low-Income Housing Tax Credit (LIHTC) and market rate.

Novogradac & Company LLP adheres to the market study guidelines promulgated by the National Council of Housing Market Analysts (NCHMA).

This report contains, to the fullest extent possible and practical, explanations of the data, reasoning, and analyses that were used to develop the opinions contained herein. The report also includes a thorough analysis of the scope of the study, regional and local demographic and economic studies, and market analyses including conclusions. The depth of discussion contained in the report is specific to the needs of the client. Information included in this report is accurate and the report can be relied upon by DCA as a true

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assessment of the low-income housing rental market. This report is completed in accordance with DCA market study guidelines. We inform the reader that other users of this document may underwrite the LIHTC rents to a different standard than contained in this report.

The Stated Purpose of this assignment is for tax credit application. You agree not to use the Report other than for the Stated Purpose, and you agree to indemnify us for any claims, damages or losses that we may incur as the result of your use of the Report for other than the Stated Purpose. Without limiting the general applicability of this paragraph, under no circumstances may the Report be used in advertisements, solicitations and/or any form of securities offering.

The authors of this report certify that we are not part of the development team, owner of the Subject property, general contractor, nor are we affiliated with any member of the development team engaged in the development of the Subject property or the development's partners or intended partners. Please do not hesitate to contact us if there are any questions regarding the report or if Novogradac & Company LLP can be of further assistance. It has been our pleasure to assist you with this project.

Respectfully submitted,  
Novogradac & Company LLP



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# **A. EXECUTIVE SUMMARY**

## EXECUTIVE SUMMARY

### 1. Project Description

Dawnville Meadows will be the acquisition/rehabilitation of an existing LIHTC/market rate multifamily development located at 161 Dawnville Road NE in Dalton, Whitfield County, Georgia, which consists of 10 two-story garden-style buildings. The Subject currently offers 98 LIHTC units restricted at the 50 and 60 percent AMI levels, in addition to 22 unrestricted market rate units. The Subject was constructed in 2000, and is currently in the extended use period. The Subject is currently in average condition and contains 80 two and 40 three-bedroom units, respectively. According to a rent roll dated September 28, 2018, the Subject is currently 93.3 percent occupied and maintains a waiting list of undetermined length. Post-renovation, all of the Subject's units will be restricted at the 60 percent AMI level.

The Subject is proposed for renovation with additional LIHTC equity. The Subject was originally constructed in 2000 and currently exhibits average condition. Total construction costs are estimated to be approximately \$5,400,000 or \$45,000 per unit. Renovations will include, but will not be limited to new appliances, kitchen cabinets, countertops, bathroom vanities, doors, light fixtures, toilets, bathroom accessories, remodeling the clubhouse, new picnic and grills, improved site lighting, resealing the parking lot, new pool furniture, upgraded landscaping, roof replacement, irrigation repairs, new laundry room, new playground, and new turf recreation field.

Post-renovation, the unit mix will remain the same, but all units will be LIHTC restricted at the 60 percent AMI level. There will no longer be the six units restricted at the 50 percent AMI level of the 22 unrestricted market rate units. The following table illustrates the proposed unit mix.

#### PROPOSED RENTS

Unit Type	Unit Size (SF)	Number of Units	Asking Rent	Utility Allowance (1)	Gross Rent	2018 LIHTC Maximum Allowable Gross Rent
			@60%			
2BR / 2BA	948	80	\$652	\$77	\$729	\$729
3BR / 2BA	1,248	40	\$743	\$98	\$841	\$841
		<b>120</b>				

Notes (1) Source of Utility Allowance provided by the Developer.

The renovated Subject will offer slightly superior to superior in-unit amenities in comparison to the LIHTC and market rate comparable properties and similar to slightly superior property amenities. Notable unit amenities offered by Subject include balconies/patios, hardwood flooring, central air conditioning, exterior storage, walk-in closets, washer dryer hookups, dishwashers, and disposals. The majority of the comparable properties lack features such as hardwood flooring, exterior storage, walk-in closets, disposals, and balconies/patios, all of which are included in the Subject's proposed amenity scheme. The amenity package offered by Legacy Of Dalton Apartments is considered similar to the Subject. Overall, we believe the Subject's unit amenities will be competitive in the market. Notable property amenities offered by Subject include a business center, on-site management, a fitness center, a playground, a swimming pool, recreational areas, and volleyball court. The majority of the surveyed comparables offer similar to slightly inferior property amenities relative to the Subject. The majority of the comparable properties lack features such as recreational areas, volleyball court, a business center, a fitness center, a swimming pool, and a playground, all of which are included in the Subject's proposed amenity scheme. Overall, we believe the Subject's property amenities will be competitive in the market.

## 2. Site Description/Evaluation

The Subject is located at 161 Dawnville Road NE in Dalton, Whitfield County, Georgia. The Subject is located in a mixed-use neighborhood that consists primarily of single-family homes and various commercial uses in average condition. Downtown Dalton is located approximately 3.2 miles southwest of the Subject. Interstate 75 is located approximately 4.2 miles west of the Subject. There are a number of big box retail stores that are located along Interstate 75, which includes The Home Depot and Walmart. There are a number of chain restaurants 1.4 miles southwest of the Subject that exhibit good condition, including Burger King, Zaxby's, and Hardee's. Major employers are located southeast and southwest of the Subject. The Subject site is considered "Car-Dependent" by Walk Score with a rating of 34 out of 100. The Subject site is considered a desirable location for rental housing. The uses surrounding the Subject are in average condition and the site is located within close proximity to locational amenities, most of which are within three miles of the Subject.

## 3. Market Area Definition

The following sections will provide an analysis of the demographic characteristics within the market area. Data such as population, households and growth patterns will be studied, to determine if the Primary Market Area (PMA) and the Dalton, GA MSA are areas of growth or contraction.

The PMA is generally defined by Georgia State Highway 2 to the north, Georgia State Highway 225 to the east, the Whitfield County border to the south, and Interstate Highway 75 to the west. This area encompasses central portion of Whitfield County, and includes the western portion of Murray County. The approximate distances from the Subject to the farthest boundaries of the PMA in each direction are listed as follows:

North:	9.0 miles
East:	13.0 miles
South:	16.0 miles
West:	10.0 miles

The PMA was defined based on interviews with the local housing authority, property managers at comparable properties, and the Subject's property manager. Of those residents coming from within Georgia, most are coming from the Dalton area and surrounding rural communities. While we do believe the Subject will experience leakage from outside the PMA boundaries, per the 2018 DCA market study guidelines, we have not accounted for leakage in our demand analysis found later in this report. The Secondary Market Area (SMA) is defined as the Dalton, GA Metropolitan Statistical Area (MSA), which consists of Whitfield and Murray Counties in northwest Georgia and encompasses 638 square miles.

## 4. Community Demographic Data

Between 2000 and 2010 the PMA experienced moderate growth in the general population, outpacing both that of the nation and the MSA. Between 2010 and 2017, however, the PMA experienced minimal growth in the general population, which outpaced the MSA, while lagging behind the nation as a whole. Through the projected market entry date of 2020 and 2022, the general population growth in the PMA is projected to be similar to that of the MSA but less than that of the nation. Between 2010 and 2017, household growth in the PMA and the MSA was slowed, while the number of households in the nation continued to grow at a generally similar pace. General household growth in the PMA and MSA is projected to remain the same and trail that of the nation through market entry. Approximately 40 percent of households in the PMA are renters. The Subject will target tenants earning between \$24,994 and \$34,980. Approximately 67.1 percent of renter households earn less than \$40,000 annually. This indicates that a large share of renter households will be income-eligible to reside at the Subject.



According to *RealtyTrac* statistics, one in every 2,402 housing units nationwide was in some stage of foreclosure as of September 2018. Whitfield County is experiencing a foreclosure rate of one in every 1,242 homes, while Georgia experienced one foreclosure in every 2,504 housing units. Overall, Whitfield County is experiencing a higher foreclosure rate to the nation and state of Georgia, indicating a slightly weaker housing market. However, the Subject’s neighborhood does not have a significant amount of abandoned or vacant single-family homes that would impact the marketability of the Subject.

**5. Economic Data**

The largest industries in the PMA are manufacturing, retail, accommodation/food services, and healthcare. When compared to the nation, the manufacturing sector is overrepresented in the PMA, while the retail, healthcare, education, and professional/scientific/tech services sectors are underrepresented. While the manufacturing, retail trade, and accommodation/food services industries are more susceptible to periods of economic contraction, the educational services and healthcare/social assistance sectors are traditionally more stable. Annual job growth in the MSA lagged the nation in all but one years between 2003 and 2007. The effects of the recession were particularly pronounced in the MSA, which suffered a 15.4 percent contraction in employment (2007-2009), more than the 4.8 percent reported by the nation as a whole (2008-2010). Employment in the MSA has yet to reach pre-recessionary employment levels, while the nation reached pre-recessionary employment levels in 2014. As of August 2018, total employment in the MSA is at a post-recessionary record, and increasing at an annualized rate of 2.5 percent, compared to 1.3 percent across the overall nation. Several employers announced expansions in the region, which is positive for the local economy, while there have been only two WARN notices filed in Whitfield County since 2013, affecting approximately 160 individuals. Overall, the economy appears to be in an expansionary phase that has been ongoing since 2014. This suggests that demand for all housing types should be trending positively as the areas employment base grows. The growing local economy is a positive indicator of demand for rental housing and the Subject’s renovated units.

**6. Project-Specific Affordability and Demand Analysis**

The following table illustrates the demand and capture rates for the Subject’s proposed units. It should be noted that, per the DCA market study guide, we have only accounted for units that will need to be re-tenanted. As of the date of this report, a tenant income audit was unavailable; as such, we have assumed that tenants residing in the unrestricted market rate units and the LIHTC units restricted at the 50 percent AMI level will not continue to income-qualify to reside at the Subject post-renovation. However, we do believe the tenants currently residing in the 60 percent AMI LIHTC units will continue to income-qualify to reside at the property and the developer noted that they will not need to be re-certified. As such, we have performed the demand analysis only for the 30 units that are currently operating as market rate or 50 percent AMI LIHTC units or are vacant. It should be noted that, according to the developer, the renovation budget includes expenses to re-tenant residents at the Subject that will no longer income-qualify post-renovation.

**CAPTURE RATE ANALYSIS CHART**

Unit Type	Minimum Income	Maximum Income	Units Proposed	Total Demand	Supply	Net Demand	Capture Rate	Proposed Rents
2BR @60%	\$24,994	\$29,160	21	318	0	318	6.6%	\$652
3BR @60%	\$28,834	\$34,980	9	392	0	392	2.3%	\$743
@60% Overall	\$24,994	\$34,980	30	710	0	710	4.2%	-

We believe these calculated capture rates are reasonable, particularly as these calculations do not consider demand from outside the PMA or standard rental household turnover.

**7. Competitive Rental Analysis**

Comparable properties are examined on the basis of physical characteristics, i.e. building type, age/quality, level of common amenities, absorption, as well as similarity in rent. We attempted to compare the Subject to complexes from the competing market to provide a broader picture of the health and available supply in the market. Our competitive survey includes 11 “true” comparable properties containing 1,099 units.

The availability of LIHTC data is considered average; there is only one LIHTC property in the PMA. We utilized three LIHTC properties and two mixed-income properties in our analysis, the majority of which are located outside the PMA in Ringgold, Chatsworth, or Calhoun. All of the comparable properties target the general population and offer generally similar unit types in comparison to the Subject. The comparable LIHTC properties are all located between 0.6 and 23.8 miles of the Subject.

The availability of market rate data is considered good. The Subject is located in Dalton and there are several market rate properties in the area. We included seven conventional properties in our analysis of the competitive market. All of the market rate properties are located in the PMA, between 3.1 and 4.2 miles from the Subject site. These comparables were built or renovated between 1967 and 1985. Overall, we believe the market rate properties we used in our analysis are the most comparable. Other market rate properties were excluded based on proximity, condition, and unit mix.

When comparing the Subject’s rents to the average comparable rent, we do not include surveyed rents at lower AMI levels given that this artificially lowers the average surveyed rent. Including rents at lower AMI levels does not reflect an accurate average rent for rents at higher income levels. For example, if the Subject offers rents at the 50 and 60 percent of AMI levels, and there is a distinct difference at comparable properties between rents at the two AMI levels, we do not include the 50 percent of AMI rents in the average comparable rent for the 60 percent of AMI comparison.

The overall average and the maximum and minimum adjusted rents for the comparable properties surveyed are illustrated in the table below in comparison with net rents for the Subject. It should be noted that the properties located outside of Whitfield County have been excluded from the following analysis, given that the rents at these properties are substantially below those of the properties located in Whitfield County.

**SUBJECT COMPARISON TO MARKET RENTS**

Unit Type	Subject Proposed Rent	Surveyed Min	Surveyed Max	Surveyed Average	Subject Rent Differential
2BR @60%	\$652	\$665	\$901	\$814	-20%
3BR @60%	\$743	\$749	\$978	\$897	-17%

As illustrated, the Subject’s proposed rents are well below the surveyed average when compared to the comparables, both LIHTC and market rate. The Subject’s proposed rents are below the surveyed range of comparable LIHTC and market rents. The Subject’s proposed two and three-bedroom rents are approximately 20 and 17 percent below the comparable average two and three-bedroom rents, respectively.

Autumn Ridge, a LIHTC/market rate development, is achieving the second highest two and highest three-bedroom market rate rents of all the comparables. The property is located approximately 0.6 miles west of the Subject in Dalton and offers a similar location relative to the Subject. This property was constructed in 2004 and exhibits good condition, similar to the Subject upon completion of the renovations. The property is currently 100 percent occupied and maintains a waiting list of approximately 24 households. This property offers inferior in-unit amenities relative to the Subject and slightly inferior common area amenities relative to the Subject. Autumn Ridge does not offer hardwood flooring or exterior storage, both of which will be offered at the Subject. Additionally, Autumn Ridge does not offer a picnic area, recreational areas, a volleyball court,

or a business center, all of which will be offered at the Subject post-renovation. Autumn Ridge offers slightly larger unit sizes relative to the Subject.

### 8. Absorption/Stabilization Estimate

At the time of this report, no new multifamily properties were found to be in development within the PMA in the last three years. As such, none of the comparable properties were able to provide absorption data. As such, we have expanded our search to include properties located in Chattanooga and Cleveland, Tennessee, which are both located approximately 24.0 miles north of the Subject. Our findings are detailed in the following table.

#### ABSORPTION

Property name	Type	City	Tenancy	Year Built	Number of Units	Units Absorbed / Month
The Edison At Gordon Square	Market	Cleveland, TN	Family	2017	307	73
The Flats At East Bank	Market	Cleveland, TN	Family	2015	241	16
Bridgeway Apartments	Market	Chattanooga, TN	Family	2014	250	23
Forest Cove Apartments	Market	Chattanooga, TN	Family	2014	120	10
Springs At Chattanooga	Market	Chattanooga, TN	Family	2014	<u>260</u>	<u>19</u>
<b>Average</b>					<b>236</b>	<b>28</b>

Per DCA guidelines, we calculate the absorption to 93 percent occupancy. The Subject is the proposed renovation of an existing LIHTC/market rate property. Historically, the Subject has operated at 96 to 97 percent occupancy. However, the Subject is 93.3 percent occupied due to units being held vacant in anticipation of renovations as tenants vacate those units. Renovations are scheduled to begin in May 2019 and be completed in February 2020. With the healthy LIHTC vacancy rate and waiting lists at the LIHTC comparable properties, we believe that the Subject’s units, if the Subject were hypothetically 100 percent vacant, could reasonably expect to lease 20 units per month. At this rate, the Subject would reach a stabilized occupancy of 93 percent within five to six months. Based on information provided by the client, the Subject will only need to fill 30 units as many of the current tenants are expected to continue to income-qualify to reside at the property post-renovation. It should be noted that a tenant income audit was unavailable as of the date of this report, and we have assumed that only the tenants currently residing in the 60 percent AMI units will continue to income-qualify post-renovation. Assuming that the Subject only needs to fill 30 units, the Subject would reach a stabilized occupancy of 93 percent within one to two months.

### 9. Overall Conclusion

Based upon our market research, demographic calculations and analysis, we believe there is adequate demand for the Subject property as proposed. The LIHTC comparables are experiencing a weighted average vacancy rate of 0.8 percent, which is considered very low. Historically, the Subject has operated at 96 to 97 percent occupancy. However, the Subject is currently 93.3 percent occupied due to units being held vacant in anticipation of renovations as tenants vacate those units. The majority of the comparable properties are generally older and exhibit average condition. The Subject will undergo an extensive renovation. The only potential weakness of the Subject is the slightly inferior unit sizes in relation to the comparables. Upon completion, the Subject will offer slightly superior to superior in-unit amenities in comparison to the LIHTC and market rate comparable properties and similar to slightly superior property amenities. Many comparables lack hardwood flooring, exterior storage, walk-in closets, garbage disposals, and patios/balconies, all of which will be offered at the Subject. Based on the Subject’s current performance, we believe that the renovated Subject is feasible as proposed. We believe that it will fill a void in the market and will perform well.

**DAWNVILLE MEADOWS – DALTON, GEORGIA – MARKET STUDY**

<b>Summary Table:</b>										
(must be completed by the analyst and included in the executive summary)										
<b>Development Name:</b>		Dawnville Meadows - As Renovated						<b>Total # Units:</b>		120
<b>Location:</b>		161 Dawnville Road NE Dalton, GA 30721						<b># LIHTC Units:</b>		120
<b>PMA Boundary:</b>		North: Georgia State Highway 2, South: Whitfield County border; East: Georgia State Highway 225, West: Interstate Highway 75								
								<b>Farthest Boundary Distance to Subject:</b>		16.0 miles
Rental Housing Stock (found on page 63)										
Type	# Properties*	Total Units	Vacant Units	Average Occupancy						
All Rental Housing	23	2,163	34	98.4%						
Market-Rate Housing	19	1,845	32	98.3%						
Assisted/Subsidized Housing not to include LIHTC	3	188	2	98.9%						
LIHTC	1	130	0	100.0%						
Stabilized Comps	23	2,163	34	98.4%						
Properties in Construction & Lease Up	N/A	N/A	N/A	N/A						
<b>*Only includes properties in PMA</b>										
Subject Development					Average Market Rent*			Highest Unadjusted Comp Rent		
# Units	# Bedrooms	# Baths	Size (SF)	Proposed Tenant Rent	Per Unit	Per SF	Advantage	Per Unit	Per SF	
80	2BR at 60% AMI	2	948	\$652	\$814	\$0.86	25%	\$859	\$0.78	
40	3BR at 60% AMI	2	1,248	\$743	\$897	\$0.72	21%	\$975	\$0.66	
Demographic Data (found on page 33)										
	2010		2017		February 2020					
Renter Households	11,188	35.6%	12,633	34.8%	12,728	34.5%				
Income-Qualified Renter HHs (LIHTC)	2,085	18.6%	2,355	18.6%	2,372	18.6%				
Targeted Income-Qualified Renter Household Demand (found on pages 45 to 53)										
<b>Type of Demand</b>	@60%	-	-	-	-	-	-	-	-	
Renter Household Growth	-10	-	-	-	-	-	-	-	-	
Existing Households (Overburdened + Substandard)	877	-	-	-	-	-	-	-	-	
Homeowner conversion (Seniors)	0	-	-	-	-	-	-	-	-	
<b>Total Primary Market Demand</b>	867	-	-	-	-	-	-	-	-	
Less Comparable/Competitive Supply	0	-	-	-	-	-	-	-	-	
<b>Adjusted Income-qualified Renter HHs**</b>	867	-	-	-	-	-	-	-	-	
Capture Rates (found on page 53)										
<b>Targeted Population</b>	@60%	0%	0%	Market-rate	Other: __	Overall				
<b>Capture Rate:</b>	4.2%	-	-	-	-	4.2%				

\*Includes LIHTC and unrestricted (when applicable)  
 \*\*Not adjusted for demand by bedroom-type.

## **B. PROJECT DESCRIPTION**

**PROJECT DESCRIPTION**

- 1. **Project Address and Development Location:** The Subject is located at 161 Dawnville Road NE in Dalton, Whitfield County, Georgia, 30721. The Subject is an existing LIHTC/market rate property that currently offers 50 and 60 percent AMI LIHTC units and market rate units; however, post-renovation, all of the Subject’s units will be LIHTC restricted at the 60 percent AMI level.
- 2. **Construction Type:** The Subject consists of 10 two-story garden-style apartment buildings and one one-story leasing office. The Subject will be a rehabilitation of an existing property.
- 3. **Occupancy Type:** Families.
- 4. **Special Population Target:** None.
- 5. **Number of Units by Bedroom Type and AMI Level:** See following property profile.
- 6. **Unit Size, Number of Bedrooms and Structure Type:** See following property profile.
- 7. **Rents and Utility Allowances:** See following property profile.
- 8. **Existing or Proposed Project-Based Rental Assistance:** See following property profile.
- 9. **Proposed Development Amenities:** See following property profile.

**DAWNVILLE MEADOWS – DALTON, GEORGIA – MARKET STUDY**

Dawnville Meadows - As Renovated	
<b>Location</b>	161 Dawnville Road NE Dalton, GA 30721 Whitfield County
<b>Units</b>	120
<b>Vacant Units</b>	8
<b>Vacancy Rate</b>	93.3%
<b>Type</b>	Garden (2 stories)
<b>Year Built / Renovated</b>	2000 / 2020



Utilities			
<b>A/C</b>	not included – central	<b>Other Electric</b>	not included
<b>Cooking</b>	not included – electric	<b>Water</b>	included
<b>Water Heat</b>	not included – electric	<b>Sewer</b>	included
<b>Heat</b>	not included – electric	<b>Trash Collection</b>	included

Unit Mix (face rent)											
Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max rent?
2	2	Garden (2 stories)	80	948	\$652	\$0	@60%	n/a	0	0.0%	yes
3	2	Garden (2 stories)	40	1,248	\$743	\$0	@60%	n/a	0	0.0%	yes

Amenities			
<b>In-Unit</b>	Balcony/Patio Blinds Carpet/Hardwood Carpeting Central A/C Coat Closet Dishwasher Exterior Storage Ceiling Fan Garbage Disposal Oven Refrigerator Walk-In Closet Washer/Dryer hookup	<b>Security</b>	Perimeter Fencing
<b>Property</b>	Business Center/Computer Lab Courtyard Exercise Facility Central Laundry Off-Street Parking On-Site Management Picnic Area Playground Recreation Areas Swimming Pool Volleyball Court	<b>Premium</b>	none
<b>Services</b>	none	<b>Other</b>	none

**Comments**

The Subject currently offers 98 LIHTC units restricted at the 50 and 60 percent AMI levels, in addition to 22 unrestricted market rate units. Post-renovation, all of the Subject's units will be restricted at the 60 percent AMI level.

**10. Scope of Renovations:**

The Subject is an existing LIHTC/market rate property that will be renovated with additional LIHTC equity. Hard costs of renovations are expected to be \$5,400,000 or \$45,000 per unit. The scope of renovations is detailed as follows:

- New appliances
- New kitchen cabinets
- Full kitchen countertop replacement
- Flooring replacement throughout
- Bathroom vanity and countertop replacement
- Interior door replacement throughout
- New light fixtures
- New entry doors and locks
- New bathroom accessories
- New toilets
- Upgraded security system
- Clubhouse remodel including new kitchen, clubroom, fitness center addition
- New turf recreation field
- New picnic pavilion and grills
- Playground replacement
- Improved site lighting
- Parking lot reseal and stripe
- Roof replacement and repairs as needed
- Replace AC condensers with 410A system as necessary
- New stand-alone maintenance shop and laundry room
- New pool furniture
- New common area furniture
- Upgraded landscaping and site drainage
- Repair and replace irrigation system
- Side walk repairs around site

***Current Rents:***

The table on the following page illustrates the current rents at the Subject. It should be noted that the current LIHTC asking rents are at the maximum allowable HERA Special levels. The Subject's post-renovation rents at the 60 percent AMI level will be re-set to the 2018 maximum allowable LIHTC levels and will no longer qualify for HERA Special levels.



CURRENT RENTS*						
Unit Type	Unit Size (SF)	Number of Units	Minimum Tenant Paid Rent	Maximum Tenant Paid Rent	Average Tenant Paid Rent	Post-renovation 60% AMI Asking Rents
			@50%			
2BR / 2BA	948	4	\$561	\$561	\$1,122	\$652
3BR / 2BA	1,248	2	\$639	\$639	\$639	\$743
			@60%			
2BR / 2BA	948	61	\$685	\$689	\$689	\$652
3BR / 2BA	1,248	31	\$787	\$787	\$787	\$743
			Market Rate			
2BR / 2BA	948	15	\$675	\$720	\$705	\$652
3BR / 2BA	1,248	7	\$775	\$800	\$789	\$743
		<b>120</b>				

Source: September 28, 2018 Rent Roll

\*Current LIHTC rents are set at the maximum allowable HERA Special levels, which are above the 2018 maximum allowable levels

**Current Occupancy:**

The Subject is currently 93.3 percent occupied as of the rent roll dated September 28, 2018. The elevated vacancy rate at the Subject is due to units being held vacant in anticipation of renovations as tenants vacate those units. Historically, the Subject property has operated with a 96 to 97 percent occupancy rate. The Subject currently operates as a LIHTC/market rate development with LIHTC rents restricted at the 50 and 60 percent AMI levels. Following renovations, all units will be restricted at the 60 percent AMI level.

**Current Tenant Income:**

The Subject is currently a LIHTC/market rate multifamily development offering LIHTC units restricted at the 50 (6) and 60 (92) percent AMI levels, in addition to 22 unrestricted market rate units. Post-renovation, all of the Subject’s units will be restricted at the 60 percent AMI level. As of the date of this report, a tenant income audit was unavailable; as such, we have assumed that tenants residing in the unrestricted market rate units and the LIHTC units restricted at the 50 percent AMI level will not continue to income-qualify to reside at the Subject post-renovation. Given that all units will be LIHTC restricted at the 60 percent AMI level post-renovation, we assume all tenants currently residing in the Subject’s 60 percent AMI units will continue to income-qualify post-renovation.

**11. Placed in Service Date:**

The Subject was originally built in 2000. Renovations will occur with tenants in place. Therefore, buildings will be placed back in service on a rolling basis. Renovations are scheduled to begin in May 2019 and be completed in February 2020.

**Conclusion:**

The Subject is an existing apartment complex that consists of 10 garden-style residential buildings that will be renovated to good condition, slightly superior to most of the inventory in the area. As a newly renovated property, the Subject will not suffer from deferred maintenance, functional obsolescence, or physical deterioration.

## **C. SITE EVALUATION**

**1. Date of Site Visit and Name of Inspector:**

Travis Jorgensen inspected the Subject on October 17, 2018.

**2. Physical Features of the Site:**

The following illustrates the physical features of the site.

**Frontage:**

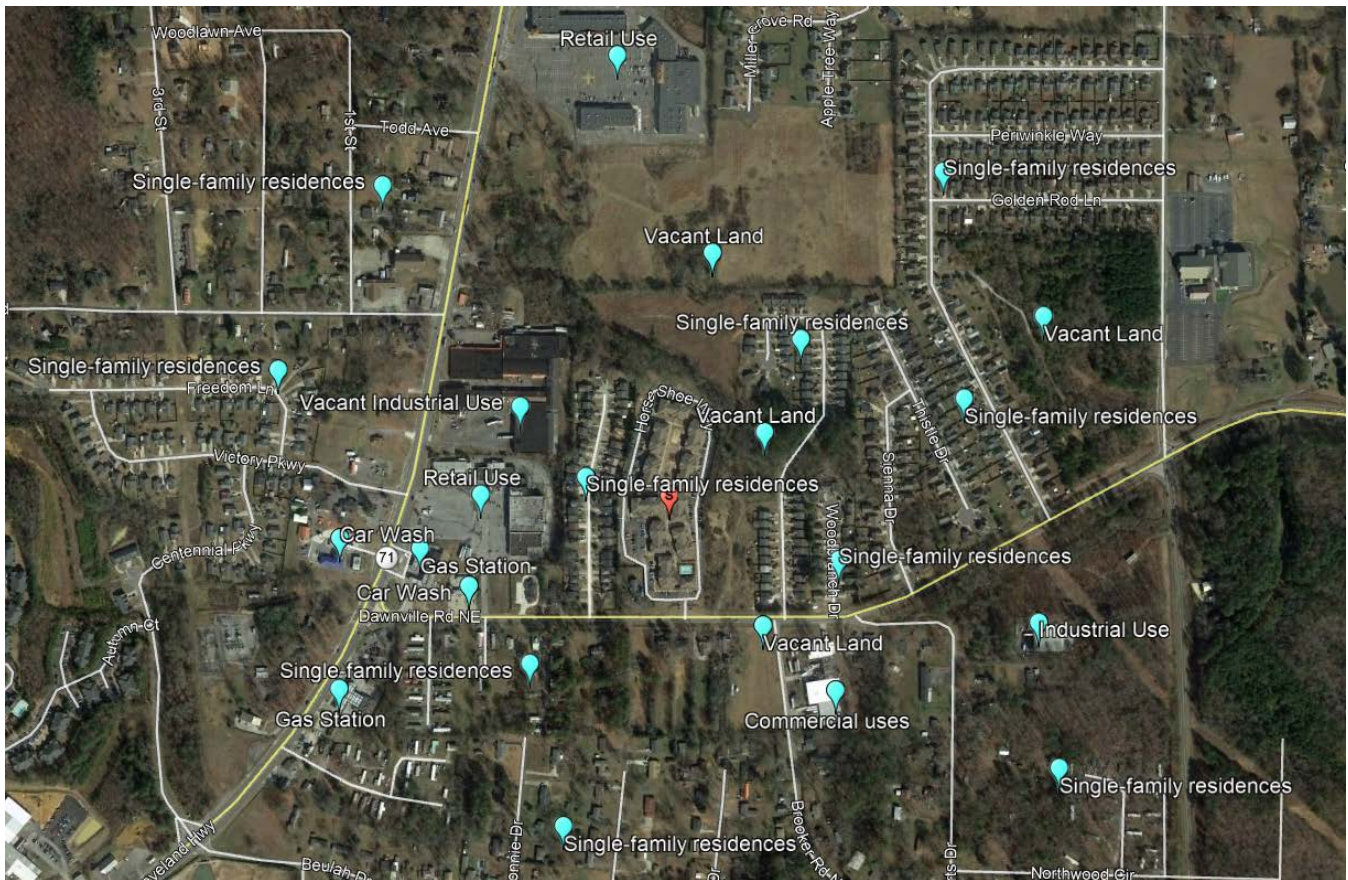
The Subject has frontage along the north side of Dawnville Road NE.

**Visibility/Views:**

The Subject has average visibility from Dawnville Road NE. Views to the north of the Subject consist of undeveloped vacant land. Views to the east of the Subject consist of single-family homes in average condition and undeveloped vacant land. Views to the south of the Subject consist of commercial uses in average condition and undeveloped vacant land. Views to the west of the Subject consist of single-family homes in average condition.

**Surrounding Uses:**

The following map illustrates the surrounding land uses.



Source: Google Earth, September 2018

The Subject is located on the north side of Dawnville Road NE. Land use to the north of the Subject consists of undeveloped vacant land. Land use further north of the Subject consists of a shopping center in average condition. Tenants include a nail salon and a resale-clothing store. Land use to the south and east of the Subject consists of undeveloped vacant land and single-family homes in

average condition. Land use to the west of the Subject consists of single-family homes in average condition, retail, and commercial uses in average condition. Based on our inspection of the neighborhood, retail appeared to be 85 percent occupied. The Subject site is considered “Car Dependent” by Walk Score with a rating of 34 out of 100. The Subject site is located in a mixed-use neighborhood. The uses surrounding the Subject are in average condition and the site is located in proximity to locational amenities, most of which are within three miles of the Subject.

**Positive/Negative Attributes of Site:**

We are unaware of any weaknesses of the site that would negatively impact the marketability of the Subject. The Subject’s close proximity to most locational amenities is considered a positive attribute of the site.

**3. Physical Proximity to Locational Amenities:**

The Subject is located within 3.4 miles of all locational amenities.

**4. Pictures of Site and Adjacent Uses:**

The following are pictures of the Subject site and adjacent uses.



Subject signage



Exterior view of Subject



Exterior view of Subject



Exterior view of Subject



Exterior view of Subject



View west along Dawnville Road NE



View east along Dawnville Road NE



View of manager's office



View of laundry facilities



View of Subject swimming pool



Typical bedroom at Subject



Typical kitchen at Subject



Typical kitchen at Subject



Typical living room at Subject



View of Subject balcony/patio



Typical bathroom at Subject



View of Subject playground



View of Subject volleyball court



Typical single-family home in Subject's neighborhood



Typical single-family home in Subject's neighborhood



Undeveloped vacant land in Subject's neighborhood



Typical commercial uses in Subject's neighborhood



Typical commercial uses in Subject's neighborhood



Single-family home in Subject's neighborhood



House of worship in Subject's neighborhood



Typical commercial uses in Subject's neighborhood



Typical commercial uses in Subject's neighborhood

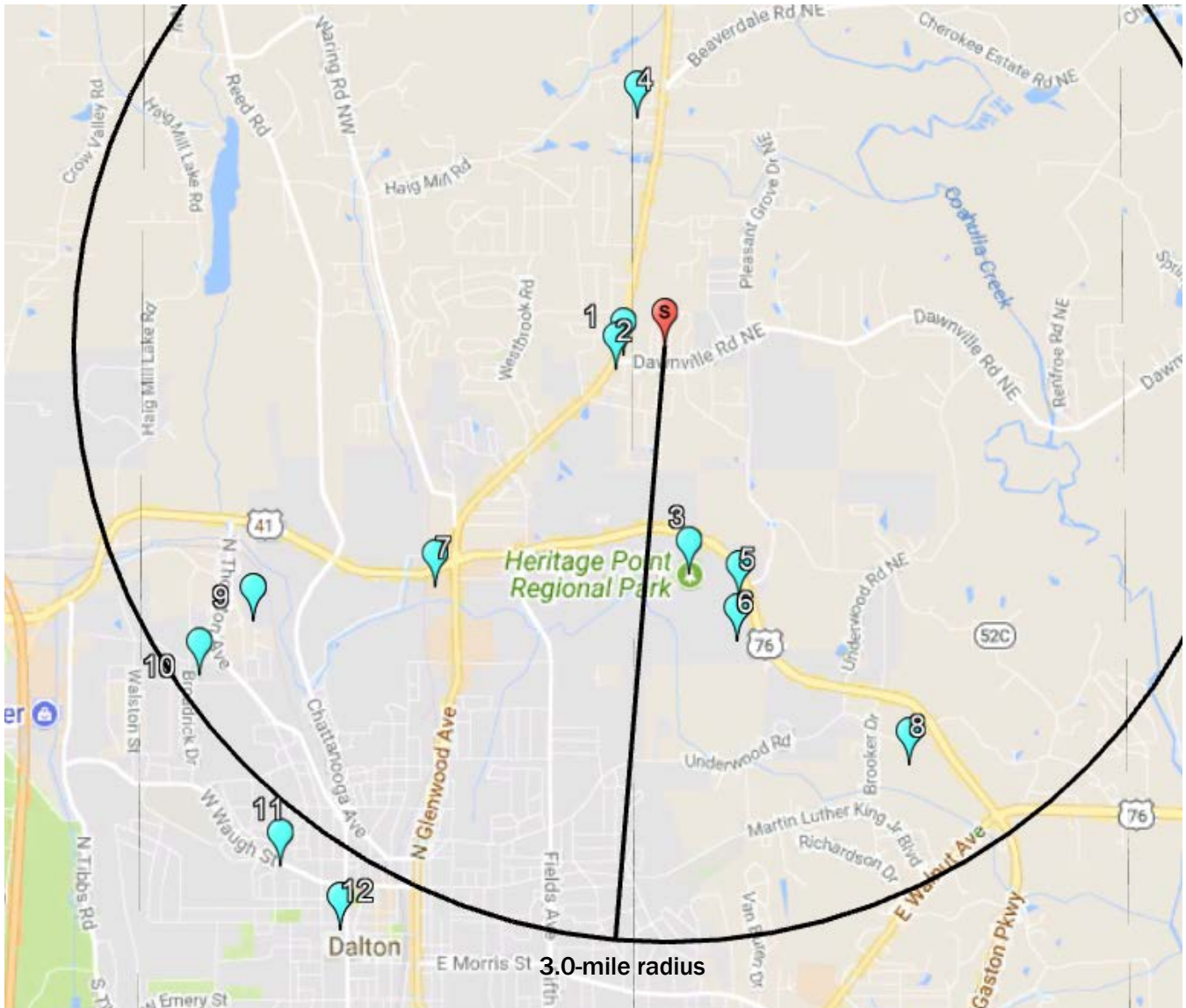


Typical commercial uses in Subject's neighborhood



**5. Proximity to Locational Amenities:**

The following map and table detail the Subject’s distance from key locational amenities.



Source: Google Earth, October 2018

**LOCAL AMENITIES**

Map #	Service or Amenity	Distance	Map #	Service or Amenity	Distance
1	Gas Station	0.2 miles	7	Food City Grocery	1.7 miles
2	Wells Fargo Bank	0.3 miles	8	Phoenix High School	2.5 miles
3	Heritage Point Regional Park	1.2 miles	9	Whitfield Sheriff Department	2.5 miles
4	Pleasant Grove Elementary School	1.2 miles	10	Hamilton Medical Center	2.9 miles
5	Dalton Fire Department Station	1.4 miles	11	Dalton Whitfield County Library	3.3 miles
6	Dalton Middle School	1.5 miles	12	United States Postal Service	3.4 miles

**6. Description of Land Uses**

The Subject is located in a mixed-use neighborhood that consists primarily of single-family homes and various commercial uses in average condition. Downtown Dalton is located approximately 3.2 miles southwest of the Subject. Interstate 75 is located approximately 4.2 miles west of the Subject site. There are a number of big box retail stores that are located along Interstate 75, including The Home Depot and Walmart. There are a number of chain restaurants 1.4 miles southwest of the Subject that exhibit good condition, including Burger King, Zaxby’s, and Hardee’s. Major employers are located southeast and southwest of the Subject. The Subject site is considered “Car-Dependent” by *Walk Score* with a rating of 34 out of 100. The Subject site is considered a desirable building site for rental housing.

**7. Crime:**

The following table illustrates crime statistics in the Subject’s PMA compared to the MSA and the nation, where an index of 100 is equal to that of the nation.

**2017 CRIME INDICES**

	PMA	Dalton, GA MSA
<b>Total Crime*</b>	<b>96</b>	<b>77</b>
<b>Personal Crime*</b>	<b>61</b>	<b>47</b>
Murder	59	56
Rape	63	58
Robbery	41	29
Assault	70	54
<b>Property Crime*</b>	<b>101</b>	<b>81</b>
Burglary	102	91
Larceny	104	81
Motor Vehicle Theft	72	59

Source: Esri Demographics 2017, Novogradac & Company LLP, September 2018

\*Unweighted aggregations

The total crime indices in the PMA are generally below that of the nation, with the exception of property crime, burglary, and larceny, but above those of the MSA. The Subject offers perimeter fencing as a security feature. Three of the comparables offer some form of security. As such, we believe the Subject’s security offerings will be market-oriented.

**8. Existing Assisted Rental Housing Property Map:**

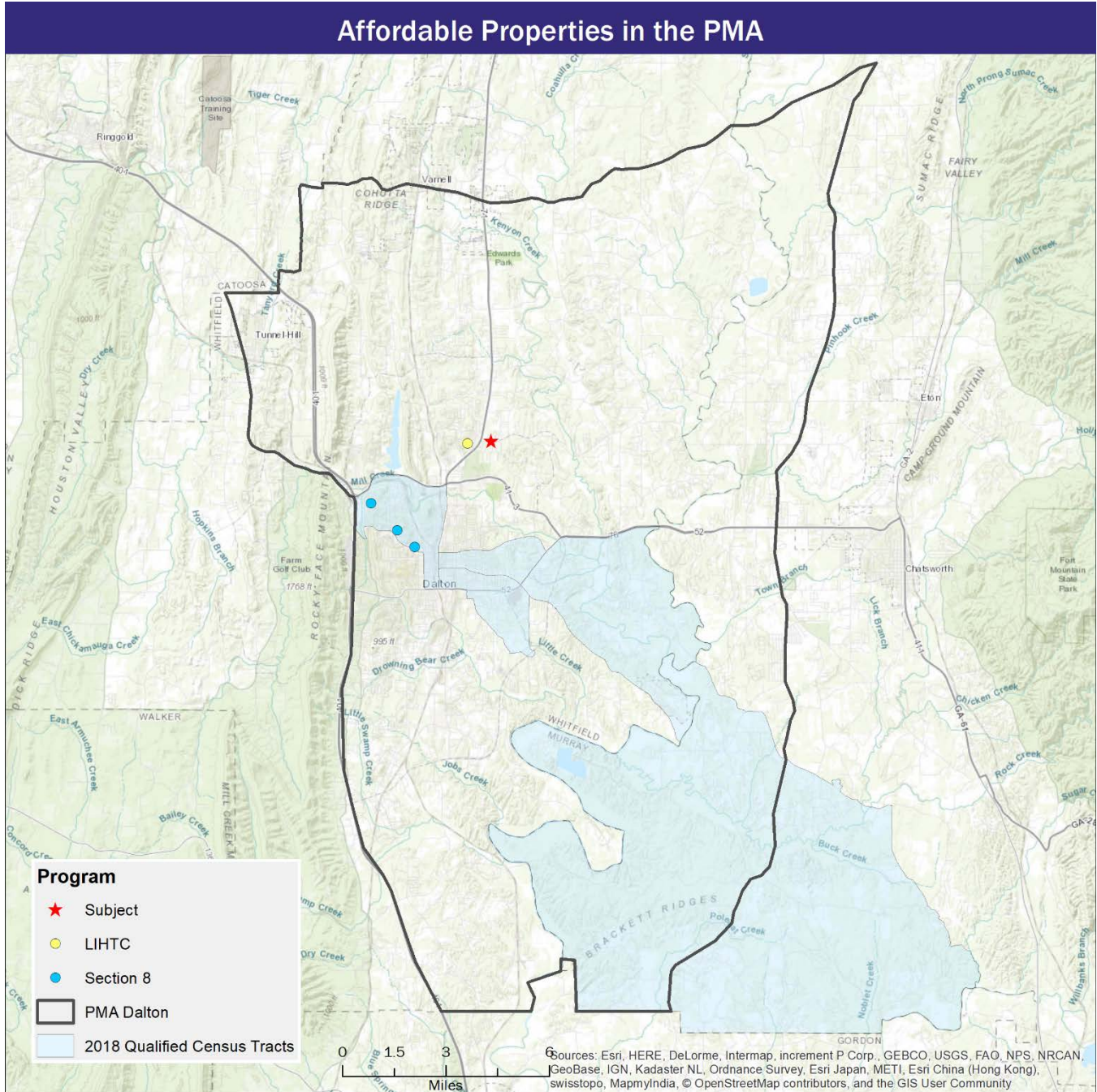
The map on the following page and list identify all assisted rental housing properties in the PMA.

# DAWNVILLE MEADOWS – DALTON, GEORGIA – MARKET STUDY

## AFFORDABLE PROPERTIES IN THE PMA

Property Name	Program	Location	Tenancy	# of Units	Distance from Subject	Occupancy	Reason for Exclusion	Map Color
Dawnville Meadows	LIHTC	Dalton	Family	120	-	93.3%	-	Star
Autumn Ridge*	LIHTC	Dalton	Family	130	0.5 miles	100.0%	Included	
Mountain Woods*	Market/Section 8	Dalton	Family	100	3.0 miles	98.0%	Subsidized	
Whitfield Commons	Section 8	Dalton	Senior	40	3.1 miles	100.0%	Subsidized	
Whitfield Place	Section 8	Dalton	Senior	48	2.3 miles	100.0%	Subsidized	

\*Utilized as a comparable



**9. Road, Infrastructure or Proposed Improvements:**

No other road, infrastructure or proposed improvements were noticed during our fieldwork.

**10. Access, Ingress-Egress and Visibility of Site:**

The Subject site can be accessed and has average visibility from the north side of Dawnville Road NE. Dawnville Road NE provides access to Cleveland Highway approximately 0.2 miles west of the Subject, which provides access to downtown Dalton approximately 3.2 miles south of the Subject. Overall, access and visibility are considered average.

**11. Conclusion:**

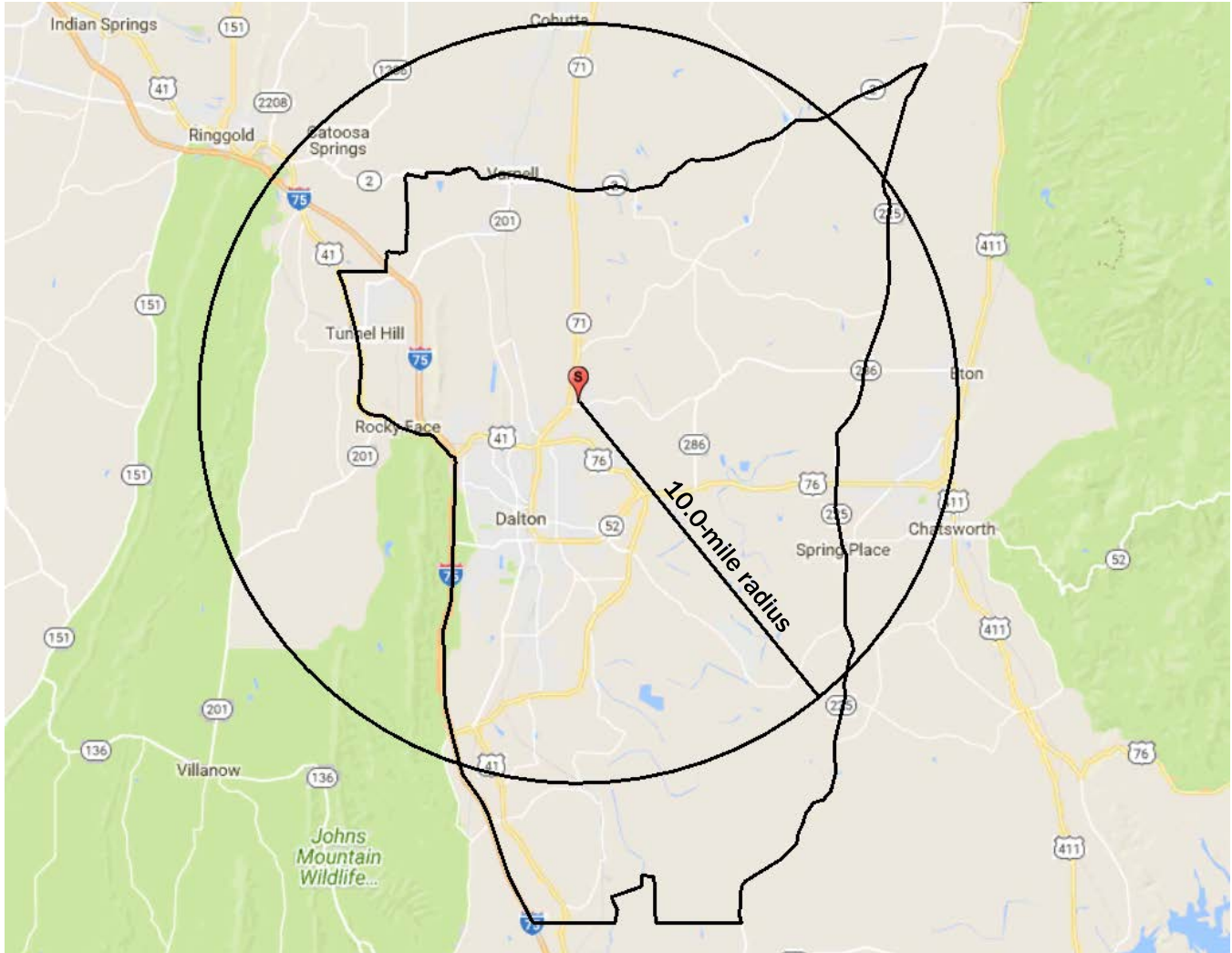
The Subject is located at 161 Dawnville Road NE in Dalton, Whitfield County, Georgia. The Subject is located in a mixed-use neighborhood that consists primarily of single-family homes and various commercial uses in average condition. Downtown Dalton is located approximately 3.2 miles southwest of the Subject. Interstate 75 is located approximately 4.2 miles west of the Subject site. There are a number of big box retail stores that are located along Interstate 75, which includes The Home Depot and Walmart. There are a number of chain restaurants 1.4 miles southwest of the Subject that exhibit good condition, including Burger King, Zaxby's, and Hardee's. Major employers are located southeast and southwest of the Subject. The Subject site is considered "Car-Dependent" by Walk Score with a rating of 34 out of 100. The Subject site is considered a desirable location for rental housing. The uses surrounding the Subject are in average condition and the site is located in close proximity to locational amenities, most of which are within three miles of the Subject.

## **D. MARKET AREA**

## PRIMARY MARKET AREA

For the purpose of this study, it is necessary to define the market area, or the area from which potential tenants for the project are likely to be drawn. In some areas, residents are very much “neighborhood oriented” and are generally very reluctant to move from the area where they have grown up. In other areas, residents are much more mobile and will relocate to a completely new area, especially if there is an attraction such as affordable housing at below market rents.

## Primary Market Area Map



Source: Google Earth, September 2018.

The following sections will provide an analysis of the demographic characteristics within the market area. Data such as population, households and growth patterns will be studied, to determine if the Primary Market Area (PMA) and the Dalton, GA MSA are areas of growth or contraction.

The PMA is generally defined by Georgia State Highway 2 to the north, Georgia State Highway 225 to the east, the Whitfield County border to the south, and Interstate Highway 75 to the west. This area encompasses central portion of Whitfield County, and includes the western portion of Murray County. The



# **E. COMMUNITY DEMOGRAPHIC DATA**



## COMMUNITY DEMOGRAPHIC DATA

The following sections will provide an analysis of the demographic characteristics within the market area. Data such as population, households and growth patterns will be studied to determine if the Primary Market Area (PMA) and the Dalton, GA MSA are areas of growth or contraction. The discussions will also describe typical household size and will provide a picture of the health of the community and the economy. The following demographic tables are specific to the populations of the PMA and the Dalton, GA MSA.

### 1. Population Trends

The following tables illustrate (a) Total Population, and (b) Population by Age Group within the population in the MSA, the PMA and nationally from 2000 through 2022.

#### 1a. Total Population

The following table illustrates the total population within the PMA, MSA and nation from 2000 through 2022.

Year	PMA		Dalton, GA MSA		USA	
	<i>Number</i>	<i>Annual Change</i>	<i>Number</i>	<i>Annual Change</i>	<i>Number</i>	<i>Annual Change</i>
2000	76,759	-	119,838	-	281,038,168	-
2010	93,688	2.2%	142,227	1.9%	308,745,538	1.0%
2017	96,932	0.5%	146,460	0.4%	327,514,334	0.8%
Projected Mkt Entry February 2020	98,284	0.5%	148,345	0.5%	334,649,118	0.8%
2022	99,549	0.5%	150,108	0.5%	341,323,594	0.8%

Source: Esri Demographics 2017, Novogradac & Company LLP, October 2018

Between 2000 and 2010 the PMA experienced moderate growth in the general population, outpacing both that of the nation and the MSA. Between 2010 and 2017, however, the PMA experienced minimal growth in the general population, which outpaced the MSA, while lagging behind the nation as a whole. Through the projected market entry date of 2020 and 2022, the general population growth in the PMA is projected to be similar to that of the MSA but less than that of the nation.

#### 1b. Total Population by Age Group

The tables on the following page illustrates the total population within the PMA and MSA from 2000 to 2022.

**POPULATION BY AGE GROUP**

Age Cohort	PMA				
	2000	2010	2017	Projected Mkt Entry February 2020	2022
0-4	6,484	7,805	7,526	7,531	7,536
5-9	5,917	7,800	7,512	7,540	7,566
10-14	5,534	7,493	7,325	7,484	7,633
15-19	5,618	7,143	6,811	6,994	7,165
20-24	5,703	6,291	6,557	6,358	6,172
25-29	6,181	6,300	7,146	6,887	6,644
30-34	6,163	6,302	6,766	6,906	7,036
35-39	5,998	6,574	6,374	6,544	6,703
40-44	5,450	6,788	6,152	6,258	6,358
45-49	4,914	6,425	6,181	5,988	5,807
50-54	4,496	5,757	6,129	6,114	6,100
55-59	3,621	4,824	5,576	5,697	5,811
60-64	2,916	4,226	4,870	5,139	5,390
65-69	2,428	3,305	4,187	4,366	4,534
70-74	1,993	2,406	3,133	3,410	3,670
75-79	1,505	1,913	2,028	2,294	2,543
80-84	984	1,273	1,369	1,457	1,540
85+	856	1,063	1,290	1,316	1,341
<b>Total</b>	<b>76,761</b>	<b>93,688</b>	<b>96,932</b>	<b>98,284</b>	<b>99,549</b>

Source: Esri Demographics 2017, Novogradac & Company LLP, October 2018

**POPULATION BY AGE GROUP**

Age Cohort	Dalton, GA MSA				
	2000	2010	2017	Projected Mkt Entry February 2020	2022
0-4	9,753	10,953	10,514	10,479	10,446
5-9	9,209	11,309	10,723	10,725	10,726
10-14	8,825	11,116	10,632	10,837	11,028
15-19	8,623	10,715	9,918	10,169	10,403
20-24	8,416	9,211	9,455	9,075	8,719
25-29	9,468	9,160	10,518	10,004	9,524
30-34	9,617	9,286	9,982	10,192	10,388
35-39	9,772	10,041	9,577	9,831	10,069
40-44	8,885	10,331	9,405	9,524	9,636
45-49	7,875	10,242	9,594	9,322	9,067
50-54	7,397	9,213	9,667	9,601	9,539
55-59	5,902	7,888	9,085	9,222	9,350
60-64	4,613	7,031	8,007	8,448	8,861
65-69	3,760	5,512	6,978	7,265	7,534
70-74	2,985	3,922	5,184	5,658	6,101
75-79	2,167	2,903	3,297	3,787	4,246
80-84	1,388	1,904	2,108	2,312	2,503
85+	1,187	1,490	1,816	1,895	1,968
<b>Total</b>	<b>119,842</b>	<b>142,227</b>	<b>146,460</b>	<b>148,345</b>	<b>150,108</b>

Source: Esri Demographics 2017, Novogradac & Company LLP, October 2018

The largest age cohorts in the PMA are between 0-4, 5-9, and 10-14, which indicates the presence of families.

## 2. Household Trends

The following tables illustrate (a) Total Households and Average Household Size, (b) Household Tenure, (c) Households by Income, (d) Renter Households by Size in the MSA, the PMA and nationally from 2000 through 2022.

### 2a. Total Number of Households and Average Household Size

The following tables illustrate the total number of households and average household size within the PMA, MSA and nation from 2000 through 2022.

#### HOUSEHOLDS

Year	PMA		Dalton, GA MSA		USA	
	Number	Annual Change	Number	Annual Change	Number	Annual Change
2000	26,725	-	42,620	-	105,403,008	-
2010	31,453	1.8%	49,219	1.5%	116,716,293	1.1%
2017	32,177	0.3%	50,219	0.3%	123,158,898	0.8%
Projected Mkt Entry February 2020	32,459	0.3%	50,618	0.3%	125,392,138	0.7%
2022	32,723	0.3%	50,991	0.3%	127,481,298	0.7%

Source: Esri Demographics 2017, Novogradac & Company LLP, October 2018

#### AVERAGE HOUSEHOLD SIZE

Year	PMA		Dalton, GA MSA		USA	
	Number	Annual Change	Number	Annual Change	Number	Annual Change
2000	2.84	-	2.79	-	2.59	-
2010	2.95	0.4%	2.86	0.3%	2.58	-0.1%
2017	2.98	0.2%	2.89	0.1%	2.59	0.1%
Projected Mkt Entry February 2020	2.99	0.2%	2.90	0.2%	2.60	0.2%
2022	3.01	0.2%	2.92	0.2%	2.61	0.2%

Source: Esri Demographics 2017, Novogradac & Company LLP, October 2018

The number of households in the PMA grew moderately between 2000 and 2010, at a pace similar to that of the MSA and the nation as a whole. Between 2010 and 2017, household growth in the PMA and the MSA were slowed, while households in the nation continued to grow at a generally similar pace. General household growth in the PMA and MSA is projected to remain the same and trail that of the nation through market entry. The average household size in the PMA is slightly larger than those of the MSA and the nation as a whole.

## 2b. Households by Tenure

The table below depicts household growth by tenure from 2000 through 2022.

TENURE PATTERNS - PMA				
Year	Owner-Occupied Units		Renter-Occupied Units	
	Number	Percentage	Number	Percentage
2000	17,836	66.7%	8,889	33.3%
2010	20,265	64.4%	11,188	35.6%
2017	19,544	60.7%	12,633	39.3%
Projected Mkt Entry February 2020	19,732	60.8%	12,728	39.2%
2022	19,907	60.8%	12,816	39.2%

Source: Esri Demographics 2017, Novogradac & Company LLP, October 2018

The share of renter-occupied housing in the PMA increased between 2000 and 2017. Through the projected market entry date and 2022, the percentage of renter-occupied households is projected to decrease slightly. However, the number of renter households in the Subject's PMA is projected to increase through projected market entry and 2022. As of 2017, the share of owner-occupied households nationally was approximately two-thirds according to the US Census Bureau, indicating that the share of renter-occupied households in the PMA is greater than in the nation.

## 2c. Household Income

The following tables depict renter household income in the PMA and MSA in 2017, market entry, and 2022.

Income Cohort	RENTER HOUSEHOLD INCOME DISTRIBUTION - PMA					
	2017		Projected Mkt Entry February 2020		2022	
	Number	Percentage	Number	Percentage	Number	Percentage
\$0-9,999	1,182	9.4%	1,136	8.9%	1,093	8.5%
\$10,000-19,999	2,578	20.4%	2,360	18.5%	2,156	16.8%
\$20,000-29,999	2,640	20.9%	2,605	20.5%	2,573	20.1%
\$30,000-39,999	2,075	16.4%	2,089	16.4%	2,103	16.4%
\$40,000-49,999	1,038	8.2%	1,145	9.0%	1,245	9.7%
\$50,000-59,999	921	7.3%	892	7.0%	865	6.7%
\$60,000-74,999	788	6.2%	834	6.6%	877	6.8%
\$75,000-99,999	613	4.9%	685	5.4%	752	5.9%
\$100,000-124,999	254	2.0%	294	2.3%	332	2.6%
\$125,000-149,999	163	1.3%	209	1.6%	252	2.0%
\$150,000-199,999	129	1.0%	157	1.2%	183	1.4%
\$200,000+	252	2.0%	321	2.5%	385	3.0%
<b>Total</b>	<b>12,633</b>	<b>100.0%</b>	<b>12,728</b>	<b>100.0%</b>	<b>12,816</b>	<b>100.0%</b>

Source: HISTA Data / Ribbon Demographics 2017, Novogradac & Company LLP, October 2018

**RENTER HOUSEHOLD INCOME DISTRIBUTION - Dalton, GA MSA**

Income Cohort	2017		Projected Mkt Entry February 2020		2022	
	Number	Percentage	Number	Percentage	Number	Percentage
\$0-9,999	1,754	9.6%	1,695	9.2%	1,640	8.8%
\$10,000-19,999	3,926	21.4%	3,623	19.6%	3,340	18.0%
\$20,000-29,999	3,711	20.2%	3,656	19.8%	3,604	19.4%
\$30,000-39,999	2,777	15.1%	2,798	15.2%	2,818	15.2%
\$40,000-49,999	1,516	8.3%	1,648	8.9%	1,772	9.5%
\$50,000-59,999	1,255	6.8%	1,225	6.6%	1,196	6.4%
\$60,000-74,999	1,242	6.8%	1,308	7.1%	1,369	7.4%
\$75,000-99,999	1,092	6.0%	1,193	6.5%	1,287	6.9%
\$100,000-124,999	323	1.8%	377	2.0%	428	2.3%
\$125,000-149,999	229	1.2%	286	1.5%	339	1.8%
\$150,000-199,999	197	1.1%	235	1.3%	270	1.5%
\$200,000+	314	1.7%	411	2.2%	501	2.7%
<b>Total</b>	<b>18,336</b>	<b>100.0%</b>	<b>18,454</b>	<b>100.0%</b>	<b>18,564</b>	<b>100.0%</b>

Source: HISTA Data / Ribbon Demographics 2017, Novogradac & Company LLP, October 2018

The Subject will target tenants earning between \$24,994 and \$34,980. As the tables above depict, approximately 67.1 percent of renter households in the PMA earn less than \$40,000 annually. This indicates that a large share of renter households will be income-eligible to reside at the Subject.

**2d. Renter Households by Number of Persons in the Household**

The following table illustrates household size for all households in 2017, market entry and 2022. To determine the number of renter households by number of persons per household, the total number of households is adjusted by the percentage of renter households.

**RENTER HOUSEHOLDS BY NUMBER OF PERSONS - PMA**

Household Size	2017		Projected Mkt Entry February 2020		2022	
	Number	Percentage	Number	Percentage	Number	Percentage
1 Person	3,216	25.5%	3,210	25.2%	3,204	25.0%
2 Persons	2,368	18.7%	2,341	18.4%	2,315	18.1%
3 Persons	2,011	15.9%	2,035	16.0%	2,058	16.1%
4 Persons	1,919	15.2%	1,955	15.4%	1,989	15.5%
5+ Persons	3,119	24.7%	3,187	25.0%	3,250	25.4%
<b>Total Households</b>	<b>12,633</b>	<b>100%</b>	<b>12,728</b>	<b>100%</b>	<b>12,816</b>	<b>100%</b>

Source: HISTA Data / Ribbon Demographics 2017, Novogradac & Company LLP, October 2018

The Subject will target households of two through six persons. The majority of renter households in the PMA are one to three-person households.

**Conclusion**

Between 2000 and 2010 the PMA experienced moderate growth in the general population, outpacing both that of the nation and the MSA. Between 2010 and 2017, however, the PMA experienced minimal growth in the general population, which outpaced the MSA, while lagging behind the nation as a whole. Through the projected market entry date of 2020 and 2022, the general population growth in the PMA is projected to be similar to that of the MSA but less than that of the nation. Between 2010 and 2017, household growth in the PMA and the MSA was slowed, while the number of households in the nation continued to grow at a

generally similar pace. General household growth in the PMA and MSA is projected to remain the same and trail that of the nation through market entry. Approximately 40 percent of households in the PMA are renters. The Subject will target tenants earning between \$24,994 and \$34,980. Approximately 67.1 percent of renter households earn less than \$40,000 annually. This indicates that a large share of renter households will be income-eligible to reside at the Subject.

## **F. EMPLOYMENT TRENDS**

## Employment Trends

The following sections will provide an analysis of the employment characteristics within the market area. Data such as jobs, industries, employment and unemployment rates, and major employers will be studied to determine if the Primary Market Area (PMA) and the Dalton, GA MSA are areas economic opportunity.

### 1. Total Jobs

The following table illustrates the total jobs (also known as “covered employment”) in the Dalton, GA MSA. Note that the data below was the most recent data available.

Total Jobs in Dalton, GA MSA		
Year	Total Employment	% Change
2002	61,729	-
2003	62,086	0.6%
2004	62,541	0.7%
2005	63,338	1.3%
2006	65,305	3.1%
2007	65,016	-0.4%
2008	61,724	-5.1%
2009	55,644	-9.8%
2010	56,790	2.1%
2011	56,537	-0.4%
2012	55,192	-2.4%
2013	54,493	-1.3%
2014	55,618	2.1%
2015	57,577	3.5%
2016	56,609	-1.7%
2017	57,654	1.8%
2018 YTD Average*	59,085	2.5%
Aug-2017	57,527	-
Aug-2018	58,941	2.5%

Source: U.S. Bureau of Labor Statistics September 2018

As illustrated in the table above, the MSA experienced a weakening economy during the national recession. Total employment decreased from 2007 through 2009 and from 2011 through 2013. Total employment began to increase in 2014 through year-to-date 2018, with the exception of 2016. Total employment in the MSA has yet to surpass pre-recessionary highs of 2006. Total employment within the MSA increased approximately 2.5 percent from August 2017 through August 2018.



## 2. Total Jobs by Industry

The following table illustrates the total jobs (also known as “covered employment”) in Whitfield County. Note that the data below was the most recent data available.

WHITFIELD COUNTY, GEORGIA		
	Number	Percent
<b>Total, all industries</b>	54,686	-
<b>Goods-producing</b>	19,262	-
Manufacturing	18,028	33.0%
Construction	1,073	2.0%
Agriculture & Forestry	98	0.2%
Mining	63	0.1%
<b>Service-producing</b>	30,230	-
Accommodations & Food Services	3,218	5.9%
Administration & Waste Services	1,747	3.2%
Arts, Entertainment & Recreation	176	0.3%
Educational Services	112	0.2%
Finance & Insurance	650	1.2%
Healthcare & Social Assistance	4,874	8.9%
Information	218	0.4%
Management of Companies/Enterprises	645	1.2%
Other Services	815	1.5%
Professional & Technical Services	2,580	4.7%
Real Estate/Rental & Leasing	313	0.6%
Retail Trade	7,242	13.2%
Transportation & Warehousing	3,870	7.1%
Utilities	162	0.3%
Wholesale Trade	3,608	7.0%

Source: U.S. Bureau of Labor Statistics, Novogradac & Company, LLP 9/2018

Manufacturing and retail trade are the largest industries in Whitfield County, followed by healthcare, transportation and warehousing, and accommodations and food services. The following table illustrates employment by industry for the PMA as of 2017.

2017 EMPLOYMENT BY INDUSTRY

Industry	PMA		USA	
	Number Employed	Percent Employed	Number Employed	Percent Employed
Manufacturing	16,852	38.0%	15,589,157	10.1%
Retail Trade	4,497	10.1%	17,038,977	11.0%
Accommodation/Food Services	3,280	7.4%	12,036,513	7.8%
Healthcare/Social Assistance	3,202	7.2%	21,941,435	14.2%
Construction	2,553	5.8%	9,872,629	6.4%
Educational Services	2,366	5.3%	14,390,707	9.3%
Other Services	1,937	4.4%	7,493,272	4.8%
Admin/Support/Waste Mgmt Svcs	1,878	4.2%	6,968,170	4.5%
Transportation/Warehousing	1,523	3.4%	6,498,777	4.2%
Prof/Scientific/Tech Services	1,174	2.6%	11,068,132	7.1%
Public Administration	1,130	2.6%	6,982,075	4.5%
Finance/Insurance	1,097	2.5%	7,200,593	4.6%
Wholesale Trade	844	1.9%	4,064,621	2.6%
Arts/Entertainment/Recreation	552	1.2%	3,448,696	2.2%
Real Estate/Rental/Leasing	413	0.9%	3,130,712	2.0%
Utilities	398	0.9%	1,401,281	0.9%
Information	334	0.8%	2,741,630	1.8%
Agric/Forestry/Fishing/Hunting	263	0.6%	2,288,795	1.5%
Mining	10	0.0%	609,828	0.4%
Mgmt of Companies/Enterprises	4	0.0%	86,740	0.1%
<b>Total Employment</b>	<b>44,307</b>	<b>100.0%</b>	<b>154,852,740</b>	<b>100.0%</b>

Source: Esri Demographics 2017, Novogradac & Company LLP, September 2018

Employment in the PMA is concentrated in the manufacturing, retail trade, and accommodation/food services industries, which collectively comprise 55.5 percent of local employment. The large share of PMA employment in the manufacturing, retail trade, and accommodation/food services industries is notable as all three are historically volatile, and prone to contraction during recessionary periods. Relative to the overall nation, the PMA features comparatively greater employment in the manufacturing, industry, and industry industries. Conversely, the PMA is underrepresented in the healthcare/social assistance, prof/scientific/tech services, and educational services industries.

### 3. Major Employers

The table below shows the largest employers in the Dalton, GA MSA according to the Dalton Whitfield County Joint Development Authority.

MAJOR EMPLOYERS – DALTON, GA MSA		
Employer Name	Industry	# Of Employees
Shaw Industries	Manufacturing	6,593
Mohawk Industries	Manufacturing	4,100
Engineered Floors, LLC/J+J Flooring Group	Manufacturing	3,100
Whitfield County Schools	Education	1,626
Hamilton Medical Center	Healthcare	1,300
Tandus Centiva	Manufacturing	1,182
Dalton Public Schools	Education	978
Whitfield County	Government	685
Walmart	Retail	647
City of Dalton	Government	535
Durkan Hospitality/Division of Mohawk	Manufacturing	501
IVC U.S., Inc.	Manufacturing	446
Shiroki North America, Inc.	Manufacturing	425
Goodwill Industries	Retail	420
Garland Sales, Inc.	Manufacturing	375
Phenix Flooring, LLC	Manufacturing	360
US Floors, Inc.	Manufacturing	341
Dalton Utilities	Utilities	311
North Georgia Health District	Healthcare	284
<b>Totals</b>		<b>24,209</b>

Source: Dalton & Whitfield County Joint Development Authority, Novogradac & Company LLP 9/2018

Major employers in the MSA are heavily concentrated in the manufacturing industry, which is consistent with the prior analysis of employment by industry in the PMA. This indicates that the local economy is largely reliant on the success of these employers and the manufacturing industry as a whole.

#### Expansions/Contractions

According to the Georgia Department of Labor, two WARN notices have been issued for Whitfield County since 2013. In October of 2016, Beaulieu America closed a facility in Dalton, affecting approximately 75 employees. In April of 2015, J.C. Penney closed a store in Dalton, affecting approximately 85 employees. We spoke with Carl Campbell, executive director with the Dalton Whitfield County Joint Development Authority. Mr. Campbell was able to provide details across the following economic developments in Whitfield County.

- Hanwha Q CELLS, a Korean solar panel producer, plans to complete construction in January 2019 on a new 350,000-square foot facility in Dalton. The company will employ approximately 525 workers. The facility will be located within the PMA, approximately 11 miles south of the Subject.
- Reagent Chemical and Research, Inc. plans to open a facility to produce their White Flyer clay targets in the near future; however, a timeline for the project was unavailable. The company plans to employ approximately 40 workers. The facility will be located within the PMA, approximately 10 miles south of the Subject.

- Healthy Choice Flooring plans to open a 200,000-square foot facility and employ approximately 25 workers to produce carpet flooring. The facility will be located within the PMA, approximately 10 miles south of the Subject.

#### 4. Employment and Unemployment Trends

The following table details employment and unemployment trends for the Dalton, GA MSA from 2002 to April 2018.

##### EMPLOYMENT TRENDS (NOT SEASONALLY ADJUSTED)

Year	Dalton, GA MSA			USA		
	Total Employment	% Change	Differential from peak	Total Employment	% Change	Differential from peak
2002	61,729	-	-5.5%	136,485,000	-	-9.9%
2003	62,086	0.6%	-4.9%	137,736,000	0.9%	-9.0%
2004	62,541	0.7%	-4.2%	139,252,000	1.1%	-8.0%
2005	63,338	1.3%	-3.0%	141,730,000	1.8%	-6.4%
2006	65,305	3.1%	0.0%	144,427,000	1.9%	-4.6%
2007	65,016	-0.4%	-0.4%	146,047,000	1.1%	-3.6%
2008	61,724	-5.1%	-5.5%	145,363,000	-0.5%	-4.0%
2009	55,644	-9.8%	-14.8%	139,878,000	-3.8%	-7.6%
2010	56,790	2.1%	-13.0%	139,064,000	-0.6%	-8.2%
2011	56,537	-0.4%	-13.4%	139,869,000	0.6%	-7.6%
2012	55,192	-2.4%	-15.5%	142,469,000	1.9%	-5.9%
2013	54,493	-1.3%	-16.6%	143,929,000	1.0%	-5.0%
2014	55,618	2.1%	-14.8%	146,305,000	1.7%	-3.4%
2015	57,577	3.5%	-11.8%	148,833,000	1.7%	-1.7%
2016	56,609	-1.7%	-13.3%	151,436,000	1.7%	0.0%
2017	57,654	1.8%	-11.7%	153,308,000	1.2%	1.2%
2018 YTD Average*	59,085	2.5%	-	155,303,000	1.3%	-
Aug-2017	57,527	-	-	153,576,000	-	-
Aug-2018	58,941	2.5%	-	155,539,000	1.3%	-

Source: U.S. Bureau of Labor Statistics October 2018

**UNEMPLOYMENT TRENDS (NOT SEASONALLY ADJUSTED)**

	Dalton, GA MSA			USA		
	Unemployment Rate	Change	Differential from peak	Unemployment Rate	Change	Differential from peak
2002	4.4%	-	0.3%	5.8%	-	1.2%
2003	4.2%	-0.3%	0.0%	6.0%	0.2%	1.4%
2004	4.2%	0.0%	0.0%	5.5%	-0.5%	0.9%
2005	4.8%	0.6%	0.6%	5.1%	-0.5%	0.5%
2006	4.4%	-0.4%	0.2%	4.6%	-0.5%	0.0%
2007	4.6%	0.2%	0.4%	4.6%	0.0%	0.0%
2008	7.6%	3.0%	3.4%	5.8%	1.2%	1.2%
2009	12.8%	5.3%	8.7%	9.3%	3.5%	4.7%
2010	12.4%	-0.4%	8.2%	9.6%	0.3%	5.0%
2011	12.4%	0.0%	8.2%	9.0%	-0.7%	4.3%
2012	11.2%	-1.2%	7.1%	8.1%	-0.9%	3.5%
2013	10.0%	-1.2%	5.8%	7.4%	-0.7%	2.8%
2014	8.2%	-1.8%	4.1%	6.2%	-1.2%	1.6%
2015	6.6%	-1.6%	2.5%	5.3%	-0.9%	0.7%
2016	6.4%	-0.3%	2.2%	4.9%	-0.4%	0.3%
2018 YTD Average*	5.0%	-0.7%	-	4.0%	-0.5%	-
Aug-2017	5.5%	-	-	4.5%	-	-
Aug-2018	4.2%	-1.3%	-	3.9%	-0.6%	-

Source: U.S. Bureau of Labor Statistics October 2018

Prior to the national recession, average employment growth in the MSA generally trailed the nation. Annual job growth in the MSA lagged the nation in all but one years between 2003 and 2007. The effects of the recession were particularly pronounced in the MSA, which suffered a 15.4 percent contraction in employment (2007-2009), more than the 4.8 percent reported by the nation as a whole (2008-2010). Employment in the MSA has yet to reach pre-recessionary employment levels, while the nation reached pre-recessionary employment levels in 2014. Since 2012, average employment growth in the MSA trailed the nation. As of August 2018, total employment in the MSA is at a post-recessionary record, and increasing at an annualized rate of 2.5 percent, compared to 1.3 percent across the overall nation.

The MSA experienced a lower average unemployment rate relative to the overall nation during the years preceding the recession. The effects of the recession were more pronounced in the MSA, which experienced a 8.3 percentage point increase in unemployment, compared to only a 4.7 percentage point increase across the overall nation. Since 2012, the MSA generally experienced a higher unemployment rate compared to the overall nation. According to the most recent labor statistics, the unemployment rate in the MSA as of 2018 year-to-date is 5.0 percent, which is higher than the current national unemployment rate of 4.0 percent.

Overall the economy appears to be in an expansion phase that has been ongoing since 2011. This suggests that demand for all housing types should be trending positively as the areas employment base grows.



**MAJOR EMPLOYERS – DALTON, GA MSA**

Employer Name	Industry	# Of Employees
Shaw Industries	Manufacturing	6,593
Mohawk Industries	Manufacturing	4,100
Engineered Floors, LLC/J+J Flooring Group	Manufacturing	3,100
Whitfield County Schools	Education	1,626
Hamilton Medical Center	Healthcare	1,300
Tandus Centiva	Manufacturing	1,182
Dalton Public Schools	Education	978
Whitfield County	Government	685
Walmart	Retail	647
City of Dalton	Government	535
Durkan Hospitality/Division of Mohawk	Manufacturing	501
IVC U.S., Inc.	Manufacturing	446
SHIROKI North America, Inc.	Manufacturing	425
Goodwill Industries	Retail	420
Garland Sales, Inc.	Manufacturing	375
Phenix Flooring, LLC	Manufacturing	360
US Floors, Inc.	Manufacturing	341
Dalton Utilities	Utilities	311
North Georgia Health District	Healthcare	284
<b>Totals</b>		<b>24,209</b>

Source: Dalton & Whitfield County Joint Development Authority

**6. Conclusion**

The largest industries in the PMA are manufacturing, retail, accommodation/food services, and healthcare. When compared to the nation, the manufacturing sector is overrepresented in the PMA, while the retail, healthcare, education, and professional/scientific/tech services sectors are underrepresented. While the manufacturing, retail trade, and accommodation/food services industries are more susceptible to periods of economic contraction, the educational services and healthcare/social assistance sectors are traditionally more stable. Annual job growth in the MSA lagged the nation in all but one years between 2003 and 2007. The effects of the recession were particularly pronounced in the MSA, which suffered a 15.4 percent contraction in employment (2007-2009), more than the 4.8 percent reported by the nation as a whole (2008-2010). Employment in the MSA has yet to reach pre-recessionary employment levels, while the nation reached pre-recessionary employment levels in 2014. As of August 2018, total employment in the MSA is at a post-recessionary record, and increasing at an annualized rate of 2.5 percent, compared to 1.3 percent across the overall nation. Several employers announced expansions in the region, which is positive for the local economy, while there have been only two WARN notices filed in Whitfield County since 2013, affecting approximately 160 individuals. Overall, the economy appears to be in an expansionary phase that has been ongoing since 2014. This suggests that demand for all housing types should be trending positively as the areas employment base grows. The growing local economy is a positive indicator of demand for rental housing and the Subject’s renovated units.

# **G. PROJECT-SPECIFIC AFFORDABILITY AND DEMAND ANALYSIS**



## Project-Specific Affordability and Demand Analysis

The following demand analysis evaluates the potential amount of qualified households, which the Subject would have a fair chance at capturing. The structure of the analysis is based on the guidelines provided by DCA.

### 1. Income Restrictions

LIHTC rents are based upon a percentage of the Area Median Gross Income (“AMI”), adjusted for household size and utilities. The Georgia Department of Community Affairs (“DCA”) will estimate the relevant income levels, with annual updates. The rents are calculated assuming that the maximum net rent a household will pay is 35 percent of its household income at the appropriate AMI level.

According to DCA, household size is assumed to be 1.5 persons per bedroom for LIHTC rent calculation purposes. For example, the maximum rent for a four-person household in a two-bedroom unit is based on an assumed household size of three persons (1.5 per bedroom). For income determination purposes, the maximum income is assumed to be 1.5 persons per bedroom rounded up to the nearest whole number. For example, maximum income for a one-bedroom unit is based on an assumed household size of two persons (1.5 persons per bedroom, rounded up).

To assess the likely number of tenants in the market area eligible to live in the Subject, we use Census information as provided by ESRI Information Systems, to estimate the number of potential tenants who would qualify to occupy the Subject as a LIHTC project.

The maximum income levels are based upon information obtained from the Rent and Income Limits Guidelines Table as accessed from the DCA website.

### 2. Affordability

As discussed above, the maximum income is set by DCA while the minimum is based upon the minimum income needed to support affordability. This is based upon a standard of 35 percent. Lower and moderate-income families typically spend greater than 30 percent of their income on housing. These expenditure amounts can range higher than 50 percent depending upon market area. However, the 30 to 40 percent range is generally considered a reasonable range of affordability. DCA guidelines utilize 35 percent for families. We will use these guidelines to set the minimum income levels for the demand analysis.

We provide a demand analysis for the as proposed scenario. We assume the maximum allowable rents.

FAMILY INCOME LIMITS		
Unit Type	Minimum Allowable Income	Maximum Allowable Income
		@60%
2BR	\$24,994	\$29,160
3BR	\$28,834	\$34,980

### 3. Demand

The demand for the Subject will be derived from three sources: new households, existing households and elderly homeowners likely to convert to rentership. These calculations are illustrated in the following tables.

#### 3a. Demand from New Households

The number of new households entering the market is the first level of demand calculated. We utilized 2020, the anticipated date of market entry, as the base year for the analysis. Therefore, 2017 household population estimates are inflated to 2020 by interpolation of the difference between 2017 estimates and

2022 projections. This change in households is considered the gross potential demand for the Subject property. This number is adjusted for income eligibility and renter tenure. This is calculated as an annual demand number. In other words, this calculates the anticipated new households in 2020. This number takes the overall growth from 2017 to 2022 and applies it to its respective income cohorts by percentage. This number does not reflect lower income households losing population, as this may be a result of simple dollar value inflation.

### **3b. Demand from Existing Households**

Demand for existing households is estimated by summing two sources of potential tenants. The first source is tenants who are rent overburdened. These are households who are paying over 35 percent of their income in housing costs. This data is interpolated using ACS data based on appropriate income levels.

The second source is households living in substandard housing. We will utilize this data to determine the number of current residents that are income eligible, renter tenure, overburdened and/or living in substandard housing and likely to consider the Subject. In general, we will utilize this data to determine the number of current residents that are income eligible, renter tenure, overburdened and/or living in substandard housing and likely to consider the Subject.

### **3c. Demand from Elderly Homeowners likely to Convert to Rentership**

An additional source of demand is also seniors likely to move from their own homes into rental housing. This source is only appropriate when evaluating senior properties and is determined by interviews with property managers in the PMA. As such, we have not accounted for any senior conversion to rentership.

### **3d. Other**

Per the 2018 GA DCA Qualified Allocation Plan (QAP) and Market Study Manual, GA DCA does not consider demand from outside the Primary Market Area (PMA), including the Secondary Market Area (SMA). Therefore, we do not account for leakage from outside the PMA boundaries in our demand analysis.

DCA does not consider household turnover to be a source of market demand. Therefore, we do not account for household turnover in our demand analysis.

We calculated all of our capture rates based on household size. DCA guidelines indicate that properties with over 20 percent of their proposed units in three and four-bedroom units need to be adjusted to considered larger household sizes. Our capture rates incorporate household size adjustments for all of the Subject's units.

## **4. Net Demand, Capture Rates and Stabilization Conclusions**

The following pages will outline the overall demand components added together (3(a), 3(b) and 3(c)) less the supply of competitive developments awarded and/or constructed or placed in service from 2016 to the present.

### **Additions to Supply**

Additions to supply will lower the number of potential qualified households. Pursuant to our understanding of DCA guidelines, we deduct the following units from the demand analysis.

- Comparable/competitive LIHTC and bond units (vacant or occupied) that were funded, are under construction, or placed in service in 2016 through the present.
- Vacancies in projects placed in service prior to 2016 that have not reached stabilized occupancy (i.e. at least 90 percent occupied).
- Comparable/competitive conventional or market rate units that are proposed, are under construction, or entered the market from 2016 to present. As the following discussion will

demonstrate, competitive market rate units are those with rent levels that are comparable to the proposed rents at the Subject.

Per GA DCA guidelines, competitive units are defined as those units that are of similar size and configuration and provide alternative housing to a similar tenant population, at rent levels comparative to those proposed for the Subject development. At the time of the report, there have been no recently allocated, placed in service, or stabilizing affordable rate developments between 2016 and present.

**PMA Occupancy**

Per DCA’s guidelines, we determine the average occupancy rate based on all available competitive conventional and LIHTC properties in the PMA. The following table illustrates a combined average occupancy level for the PMA based on the total competitive units in the PMA.

**PMA OCCUPANCY**

Property Name	Program	Location	Tenancy	# of Units	Occupancy
Autumn Ridge*	LIHTC/Market	Dalton	Family	130	100.0%
Dalton Beach Club*	Market	Dalton	Family	155	100.0%
Dalton Village*	Market	Dalton	Family	140	86.4%
Mountain Woods*	Section 8/Market	Dalton	Family	100	98.0%
Whitfield Commons	Section 8	Dalton	Senior	40	100.0%
Whitfield Place	Section 8	Dalton	Senior	48	100.0%
Park Place Apartments	Market	Dalton	Family	86	N/A
Stone Ridge Apartments*	Market	Dalton	Family	100	98.0%
Excalibur Village Apartments	Market	Dalton	Family	60	N/A
The New Georgian Apartments	Market	Dalton	Family	112	100.0%
Parkview Apartments	Market	Dalton	Family	53	N/A
The Emeralds Apartments*	Market	Dalton	Family	40	95.5%
Stone Brooke Apartments	Market	Dalton	Family	139	N/A
Park Canyon Apartments	Market	Dalton	Family	171	96.5%
Arbordale Apartments	Market	Dalton	Family	78	100.0%
Woodsdale Apartments	Market	Dalton	Family	41	100.0%
Huntington Place	Market	Dalton	Family	152	100.0%
The Cliffs	Market	Dalton	Family	120	100.0%
Cedar Hill Apartments	Market	Dalton	Family	80	100.0%
Byron Heights	Market	Dalton	Family	N/A	N/A
Park Murray	Market	Dalton	Family	40	N/A
Wood Valley Apartments	Market	Dalton	Family	120	N/A
<b>Average PMA Occupancy</b>					<b>98.4%</b>

\*Utilized as a comparable

The average occupancy rate of competitive developments in the PMA is 98.4 percent.

**Rehab Developments and PBRA**

For any properties that are rehab developments, the capture rates will be based on those units that are vacant, or whose tenants will be rent burdened or over income as listed on the Tenant Relocation Spreadsheet. The Subject is a proposed rehab development that has historically operated at 96 to 97 percent occupancy. Renovations will occur with tenants in place. Therefore, buildings will be placed back in service on a rolling basis. As of the date of this report, a tenant income audit was unavailable; as such, we have assumed that tenants residing in the unrestricted market rate units and the LIHTC units restricted at the 50 percent AMI level will not continue to income-qualify to reside at the Subject post-renovation. However, we do believe the tenants currently residing in the 60 percent AMI LIHTC units will continue to income-qualify to reside at the property and the developer noted that they will not need to be re-certified. As such, we have performed the demand analysis only for the 30 units that are currently operating as market rate or 50 percent AMI LIHTC units or are vacant. It should be noted that, according to the developer, the renovation budget includes expenses to re-tenant residents at the Subject that will no longer income-qualify post-renovation.

Units that are subsidized with PBRA or whose rents are more than 20 percent lower than the rent for other units of the same bedroom size in the same AMI band and comprise less than 10 percent of total units in the same AMI band will not be used in determining project demand. In addition, any units, if priced 30 percent lower than the average market rent for the bedroom type in any income segment, will be assumed to be leasable in the market and deducted from the total number of units in the project for determining capture rates.

**5. Capture Rates**

The above calculations and derived capture rates are illustrated in the following tables. Note that the demographic data used in the following tables, including tenure patterns, household size and income distribution through the projected market entry date of 2020 are illustrated in the previous section of this report.

**RENTER HOUSEHOLD INCOME DISTRIBUTION - PMA**

Income Cohort	2017		Projected Mkt Entry February 2020		2022	
	Number	Percentage	Number	Percentage	Number	Percentage
\$0-9,999	1,182	9.4%	1,136	8.9%	1,093	8.5%
\$10,000-19,999	2,578	20.4%	2,360	18.5%	2,156	16.8%
\$20,000-29,999	2,640	20.9%	2,605	20.5%	2,573	20.1%
\$30,000-39,999	2,075	16.4%	2,089	16.4%	2,103	16.4%
\$40,000-49,999	1,038	8.2%	1,145	9.0%	1,245	9.7%
\$50,000-59,999	921	7.3%	892	7.0%	865	6.7%
\$60,000-74,999	788	6.2%	834	6.6%	877	6.8%
\$75,000-99,999	613	4.9%	685	5.4%	752	5.9%
\$100,000-124,999	254	2.0%	294	2.3%	332	2.6%
\$125,000-149,999	163	1.3%	209	1.6%	252	2.0%
\$150,000-199,999	129	1.0%	157	1.2%	183	1.4%
\$200,000+	252	2.0%	321	2.5%	385	3.0%
<b>Total</b>	<b>12,633</b>	<b>100.0%</b>	<b>12,728</b>	<b>100.0%</b>	<b>12,816</b>	<b>100.0%</b>

Source: HISTA Data / Ribbon Demographics 2017, Novogradac & Company LLP, October 2018

60% AMI

NEW RENTER HOUSEHOLD DEMAND BY INCOME COHORT - @60%

Minimum Income Limit		\$24,994		Maximum Income Limit		\$34,980	
Income Category	New Renter Households - Total Change in		Income Brackets	Percent within Cohort	Renter Households within Bracket		
	Households PMA 2017 to Prj Mrkt Entry	February 2020					
\$0-9,999	-46	-48.6%	\$0	0.0%	0		
\$10,000-19,999	-218	-230.6%	\$0	0.0%	0		
\$20,000-29,999	-35	-36.6%	\$5,004	50.0%	-17		
\$30,000-39,999	14	15.3%	\$4,980	49.8%	7		
\$40,000-49,999	107	113.1%	\$0	0.0%	0		
\$50,000-59,999	-29	-30.6%	\$0	0.0%	0		
\$60,000-74,999	46	48.6%	\$0	0.0%	0		
\$75,000-99,999	72	76.0%	\$0	0.0%	0		
\$100,000-124,999	40	42.6%	\$0	0.0%	0		
\$125,000-149,999	46	48.6%	\$0	0.0%	0		
\$150,000-199,999	28	29.5%	\$0	0.0%	0		
\$200,000+	69	72.7%	\$0	0.0%	0		
<b>Total</b>	<b>95</b>	<b>100.0%</b>		<b>-10.7%</b>	<b>-10</b>		

POTENTIAL EXISTING HOUSEHOLD DEMAND BY INCOME COHORT - @60%

Minimum Income Limit		\$24,994		Maximum Income Limit		\$34,980	
Income Category	Total Renter Households PMA 2017		Income Brackets	Percent within Cohort	Households within Bracket		
	\$0-9,999	1,182					9.4%
\$10,000-19,999	2,578	20.4%	\$0	0.0%	0		
\$20,000-29,999	2,640	20.9%	\$5,004	50.0%	1,321		
\$30,000-39,999	2,075	16.4%	\$4,980	49.8%	1,033		
\$40,000-49,999	1,038	8.2%	\$0	0.0%	0		
\$50,000-59,999	921	7.3%	\$0	0.0%	0		
\$60,000-74,999	788	6.2%	\$0	0.0%	0		
\$75,000-99,999	613	4.9%	\$0	0.0%	0		
\$100,000-124,999	254	2.0%	\$0	0.0%	0		
\$125,000-149,999	163	1.3%	\$0	0.0%	0		
\$150,000-199,999	129	1.0%	\$0	0.0%	0		
\$200,000+	252	2.0%	\$0	0.0%	0		
<b>Total</b>	<b>12,633</b>	<b>100.0%</b>		<b>18.6%</b>	<b>2,355</b>		

ASSUMPTIONS - @60%

Tenancy		Family		% of Income towards Housing		35%
Rural/Urban		Urban		Maximum # of Occupants		5
Persons in Household	0BR	1BR	2BR	3BR	4BR+	
1	0%	50%	50%	0%	0%	
2	0%	30%	70%	0%	0%	
3	0%	0%	70%	30%	0%	
4	0%	0%	0%	100%	0%	
5+	0%	0%	0%	100%	0%	

**Demand from New Renter Households 2017 to February 2020**

Income Target Population	@60%
New Renter Households PMA	95
Percent Income Qualified	-10.7%
<b>New Renter Income Qualified Households</b>	<b>-10</b>

**Demand from Existing Households 2017**

**Demand from Rent Overburdened Households**

Income Target Population	@60%
Total Existing Demand	12,633
Income Qualified	18.6%
Income Qualified Renter Households	2,355
Percent Rent Overburdened Prj Mrkt Entry February 2020	35.6%
<b>Rent Overburdened Households</b>	<b>838</b>

**Demand from Living in Substandard Housing**

Income Qualified Renter Households	2,355
Percent Living in Substandard Housing	1.7%
<b>Households Living in Substandard Housing</b>	<b>39</b>

**Senior Households Converting from Homeownership**

Income Target Population	@60%
Total Senior Homeowners	0
Rural Versus Urban	2.0%
<b>Senior Demand Converting from Homeownership</b>	<b>0</b>

**Total Demand**

Total Demand from Existing Households	877
Total New Demand	-10
<b>Total Demand (New Plus Existing Households)</b>	<b>867</b>

Demand from Seniors Who Convert from Homeownership	0
Percent of Total Demand From Homeownership Conversion	0.0%
Is this Demand Over 2 percent of Total Demand?	No

**By Bedroom Demand**

One Person	25.2%	219
Two Persons	18.4%	159
Three Persons	16.0%	139
Four Persons	15.4%	133
Five Persons	25.0%	217
<b>Total</b>	<b>100.0%</b>	<b>867</b>

**To place Person Demand into Bedroom Type Units**

Of one-person households in 2BR units	50%	109
Of two-person households in 2BR units	70%	112
Of three-person households in 2BR units	70%	97
Of three-person households in 3BR units	30%	42
Of four-person households in 3BR units	100%	133
Of five-person households in 3BR units	100%	217
<b>Total Demand</b>		<b>867</b>

	Total Demand (Subject Unit Types)		Additions to Supply		Net Demand
2 BR	318	-	0	=	318
3 BR	392	-	0	=	392
<b>Total</b>	<b>710</b>		<b>0</b>		<b>710</b>

	Developer's Unit Mix		Net Demand		Capture Rate
2 BR	21	/	318	=	6.6%
3 BR	9	/	392	=	2.3%
<b>Total</b>	<b>30</b>		<b>710</b>		<b>4.2%</b>

**Conclusions**

Our demand analysis is used to determine a base of demand for the Subject as a tax credit property. Several factors affect the indicated capture rates and are discussed following.

- The number of households in the PMA is expected to increase 0.3 percent between 2017 and the date of market entry.
- This demand analysis does not measure the PMA’s or Subject’s ability to attract additional or latent demand into the market from elsewhere by offering an affordable option. We believe this to be moderate and therefore the demand analysis is somewhat conservative in its conclusions because this demand is not included.

The following table illustrates demand and net demand for the Subject’s units. Note that these capture rates are not based on appropriate bedroom types, as calculated previously.

<b>DEMAND AND NET DEMAND</b>	
<b>DCA Conclusion Tables (Family)</b>	<b>HH at @60% AMI (\$24,994 to \$34,980)</b>
Demand from New Households (age and income appropriate)	-10
<b>PLUS</b>	+
Demand from Existing Renter Households - Substandard Housing	39
<b>PLUS</b>	+
Demand from Existing Renter Households - Rent Overburdened Households	838
Sub Total	867
Demand from Existing Households - Elderly Homeowner Turnover (Limited to 2% where applicable)	0
<b>Equals Total Demand</b>	867
<b>Less</b>	-
Competitive New Supply	0
<b>Equals Net Demand</b>	867

CAPTURE RATE ANALYSIS CHART

Unit Type	Minimum Income	Maximum Income	Units Proposed	Total Demand	Supply	Net Demand	Capture Rate	Absorption*	Hypothetical Absorption**	Average Market Rents	Minimum Market Rent	Maximum Market Rent	Proposed Rents
2BR @60%	\$24,994	\$29,160	21	318	0	318	6.6%	One to two months	Five to six months	\$814	\$665	\$901	\$652
3BR @60%	\$28,834	\$34,980	9	392	0	392	2.3%	One to two months	Five to six months	\$897	\$749	\$978	\$743
@60% Overall	\$24,994	\$34,980	30	710	0	710	4.2%	One to two months	Five to six months	-	-	-	-

\*Assumes only 30 units will need to be reabsorbed (market rate units, 50% AMI units, and vacant 60% AMI units)

\*\*Assumes the Subject is 100 percent vacant

As the analysis illustrates, as proposed, the Subject’s capture rates at the 60 percent AMI level will range from 2.3 to 6.6 percent, with an overall capture rate o 4.2 percent. The Subject’s capture rates are within the DCA threshold. Further, the capture rates are low and indicate that sufficient demand exists for the Subject. Therefore, we believe there is adequate demand for the Subject.



# **H. COMPETITIVE RENTAL ANALYSIS**

### **Survey of Comparable Projects**

Comparable properties are examined on the basis of physical characteristics, i.e. building type, age/quality, level of common amenities, absorption, as well as similarity in rent. We attempted to compare the Subject to complexes from the competing market to provide a broader picture of the health and available supply in the market. Our competitive survey includes 11 “true” comparable properties containing 1,099 units.

The availability of LIHTC data is considered average; there is only one LIHTC property in the PMA. We utilized three LIHTC properties and two mixed-income properties in our analysis, the majority of which are located outside the PMA in Ringgold, Chatsworth, or Calhoun. All of the comparable properties target the general population and offer generally similar unit types in comparison to the Subject. The comparable LIHTC properties are all located between 0.6 and 23.8 miles of the Subject.

The availability of market rate data is considered good. The Subject is located in Dalton and there are several market rate properties in the area. We included seven conventional properties in our analysis of the competitive market. All of the market rate properties are located in the PMA, between 3.1 and 4.2 miles from the Subject site. These comparables were built or renovated between 1967 and 1985. Overall, we believe the market rate properties we used in our analysis are the most comparable. Other market rate properties were excluded based on proximity, condition, and unit mix.

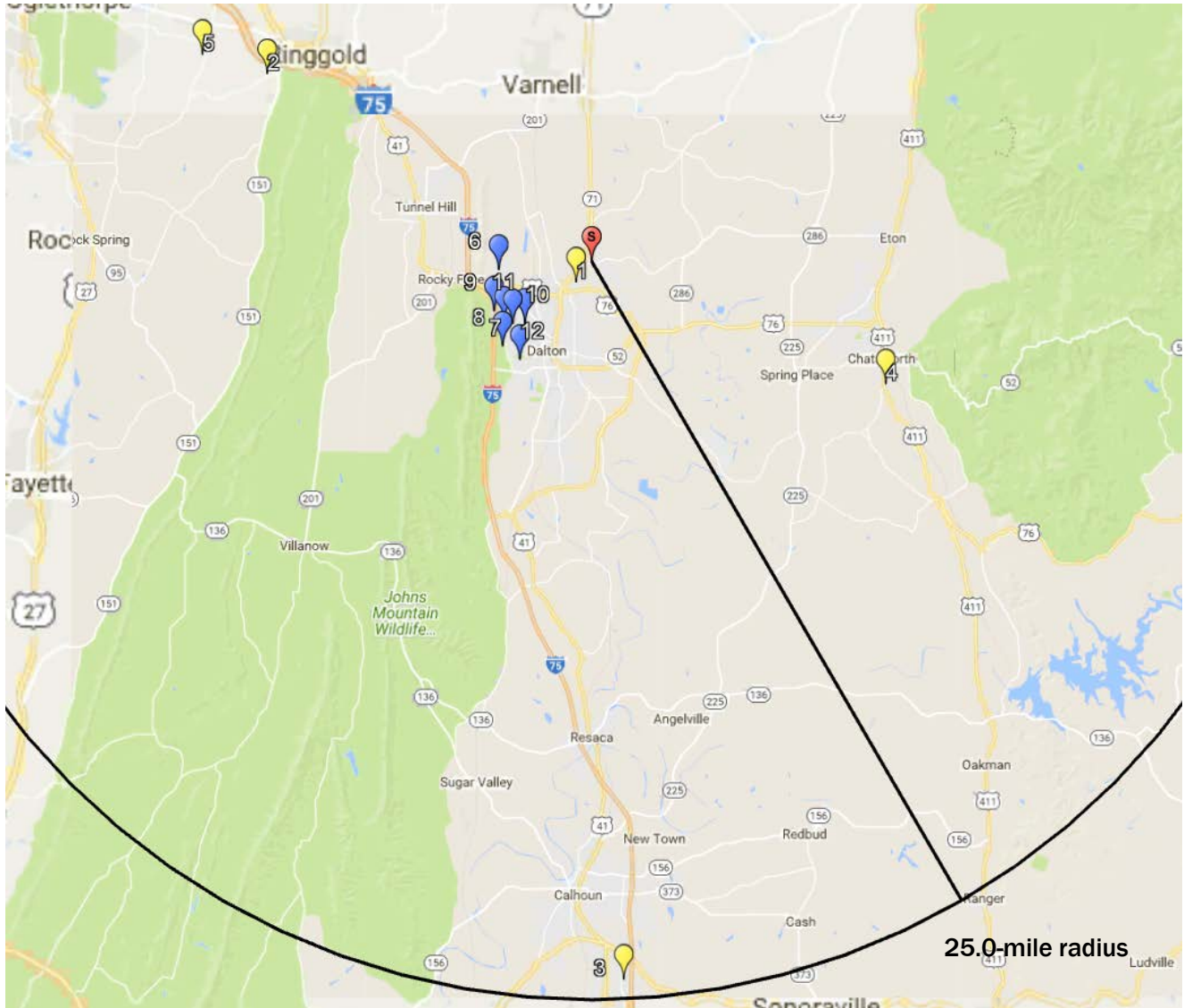
A detailed matrix describing the individual competitive properties as well as the Subject is provided on the following pages. A map illustrating the location of the Subject in relation to comparable properties is also provided on the following pages. The properties are further profiled in the following write-ups. The property descriptions include information on vacancy, turnover, absorption, age, competition, and the general health of the rental market, when available.

**Excluded Properties**

The following table illustrates properties within the PMA that are excluded from our analysis along with their reason for exclusion.

EXCLUDED PROPERTIES						
Property Name	Program	Location	Tenancy	# of Units	Reason for Exclusion	
Whitfield Commons	Section 8	Dalton	Senior	40	Subsidized	
Whitfield Place	Section 8	Dalton	Senior	48	Subsidized	
The Cliffs	Section 8	Dalton	Family	120	Subsidized	
Park Place Apartments	Market	Dalton	Family	86	Dissimilar unit mix	
Stone Brooke Apartments	Market	Dalton	Family	139	More comparable properties	
Excalibur Village Apartments	Market	Dalton	Family	60	Dissimilar unit mix	
Parkview Apartments	Market	Dalton	Family	53	Dissimilar unit mix	
Park Canyon Apartments	Market	Dalton	Family	171	Dissimilar unit mix	
Arbordale Apartments	Market	Dalton	Family	78	More comparable properties	
Woodsdale Apartments	Market	Dalton	Family	41	Dissimilar unit mix	
Huntington Place	Market	Dalton	Family	152	More comparable properties	
Cedar Hill Apartments	Market	Dalton	Family	80	More comparable properties	
Byron Heights	Market	Dalton	Family	N/A	More comparable properties	
Park Murray	Market	Dalton	Family	40	More comparable properties	
Wood Valley Apartments	Market	Dalton	Family	120	More comparable properties	

Comparable Rental Property Map I



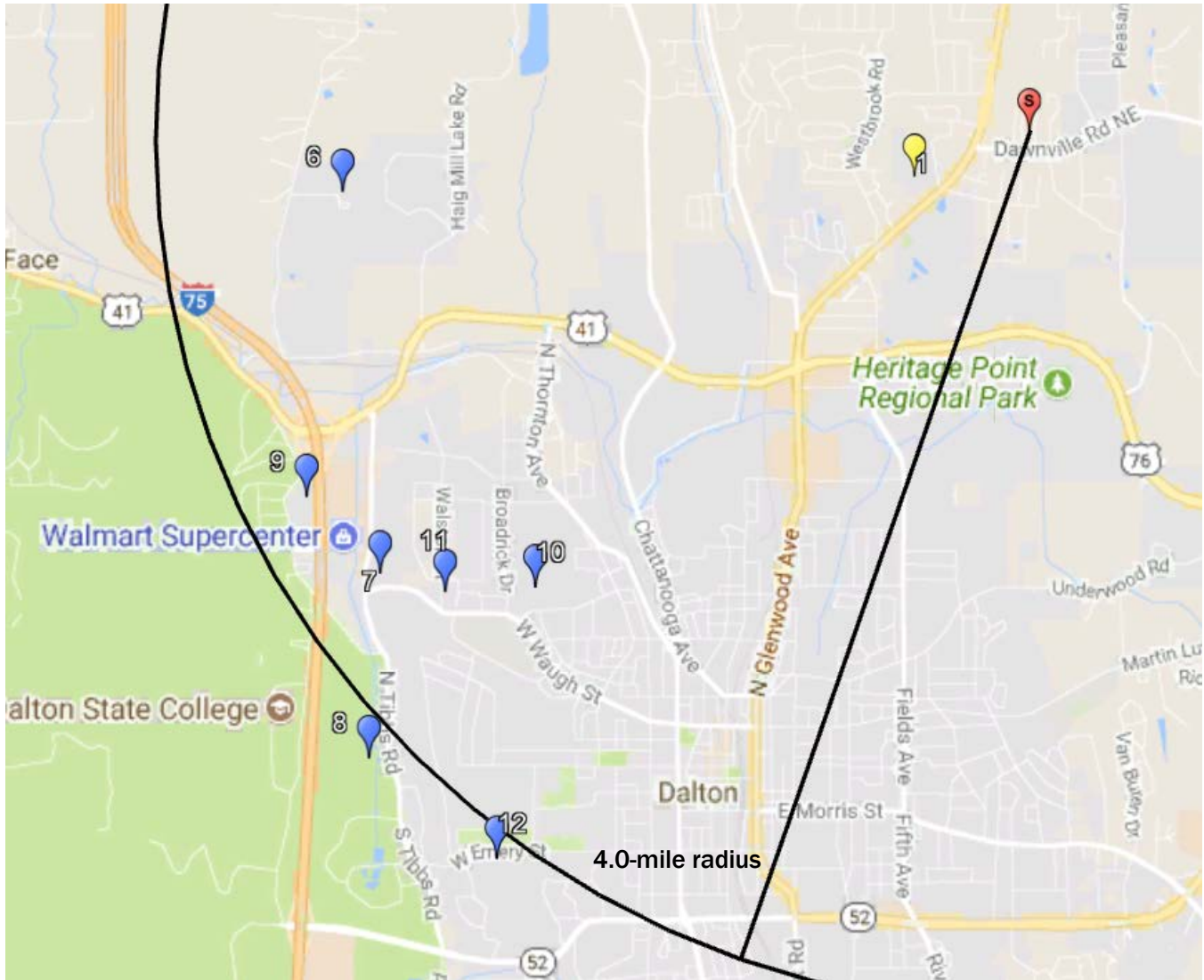
Source: Google Earth, October 2018

COMPARABLE PROPERTIES

#	Comparable Property	City	Rent Structure	Distance to Subject (As the Crow Flies)
S	Dawnville Meadows - As Renovated	Dalton	LIHTC	-
1	Autumn Ridge	Dalton	LIHTC/ Market	0.6 miles
2	Bedford Place*	Ringgold	LIHTC/ Market	12.2 miles
3	Eastgate Apartments*	Calhoun	LIHTC, HOME	23.8 miles
4	Fieldstone Apartments*	Chatsworth	LIHTC	10.6 miles
5	Summer Breeze Park *	Ringgold	LIHTC	15.2 miles
6	Dalton Beach Club	Dalton	Market	3.2 miles
7	Dalton Village Apartments	Dalton	Market	3.6 miles
8	Emeralds Apartments	Dalton	Market	4.2 miles
9	Legacy Of Dalton Apartments*	Dalton	Market	3.8 miles
10	Mountain Woods Apartments	Dalton	Section 8/ Market	3.1 miles
11	Stone Ridge Apartments	Dalton	Market	3.4 miles

\*Located outside PMA

**Comparable Rental Property Map II**



Source: Google Earth, October 2018

**COMPARABLE PROPERTIES**

#	Comparable Property	City	Rent Structure	Distance to Subject (As the Crow Flies)
S	Dawnville Meadows - As Renovated	Dalton	LIHTC	-
1	Autumn Ridge	Dalton	LIHTC/ Market	0.6 miles
2	Bedford Place*	Ringgold	LIHTC/ Market	12.2 miles
3	Eastgate Apartments*	Calhoun	LIHTC, HOME	23.8 miles
4	Fieldstone Apartments*	Chatsworth	LIHTC	10.6 miles
5	Summer Breeze Park*	Ringgold	LIHTC	15.2 miles
6	Dalton Beach Club	Dalton	Market	3.2 miles
7	Dalton Village Apartments	Dalton	Market	3.6 miles
8	Emeralds Apartments	Dalton	Market	4.2 miles
9	Legacy Of Dalton Apartments*	Dalton	Market	3.8 miles
10	Mountain Woods Apartments	Dalton	Section 8/ Market	3.1 miles
11	Stone Ridge Apartments	Dalton	Market	3.4 miles

\*Located outside PMA

1. The following tables illustrate detailed information in a comparable framework for the Subject and the comparable properties.

SUMMARY MATRIX

Comp #	Property Name	Distance to Subject	Type / Built / Renovated	Rent Structure	Unit Description	#	%	Size (SF)	Restriction	Rent (Adj)	Max Rent?	Waiting List?	Vacant Units	Vacancy Rate
Subject	Dawnville Meadows - As Renovated 161 Dawnville Road NE Dalton, GA 30721 Whitfield County		Garden (2 stories) 2000 / 2020 Family	@60%	2BR / 2BA	80	66.7%	948	@60%	\$652	Yes		0	0.0%
					3BR / 2BA	40	33.3%	1,248	@60%	\$743	Yes	0	0.0%	
						<u>120</u>	<u>100.0%</u>						<u>0</u>	<u>0.0%</u>
1	Autumn Ridge 850 Autumn Court Dalton, GA 30721 Whitfield County	0.6 miles	Garden (2 stories) 2004 / n/a Family	@30%, @50%, @60%, Market	1BR / 1BA	N/A	0	892	@50%	\$465	No	Yes	0	0
					1BR / 1BA	N/A	0	892	@60%	\$572	No	Yes	0	0
					1BR / 1BA	N/A	0	892	Market	\$758	N/A	Yes	0	0
					2BR / 2BA	N/A	0	1,208	@50%	\$537	No	Yes	0	0
					2BR / 2BA	N/A	0	1,208	@60%	\$665	No	Yes	0	0
					2BR / 2BA	N/A	0	1,208	Market	\$866	N/A	Yes	0	0
					3BR / 2BA	N/A	0	1,486	@30%	\$306	No	Yes	0	0
					3BR / 2BA	N/A	0	1,486	@50%	\$601	No	Yes	0	0
					3BR / 2BA	N/A	0	1,486	@60%	\$749	No	Yes	0	0
					3BR / 2BA	N/A	0	1,486	Market	\$978	N/A	Yes	0	0
					<u>130</u>	<u>0</u>						<u>0</u>	<u>0.0%</u>	
2	Bedford Place 60 Bedford Place Ringgold, GA 30736 Catoosa County	12.2 miles	Lowrise (2 stories) 2004 / n/a Family	@30%, @50%, @60%, Market	1BR / 1BA	2	2.3%	783	@30%	\$274	No	Yes	0	0.0%
					1BR / 1BA	8	9.1%	783	@50%	\$508	No	Yes	0	0.0%
					1BR / 1BA	6	6.8%	783	@60%	\$518	No	Yes	0	0.0%
					1BR / 1BA	4	4.5%	783	Market	\$573	N/A	Yes	0	0.0%
					2BR / 1BA	3	3.4%	1,025	@30%	\$325	No	Yes	0	0.0%
					2BR / 1BA	24	27.3%	1,025	@50%	\$586	No	Yes	0	0.0%
					2BR / 1BA	11	12.5%	1,025	@60%	\$601	No	Yes	0	0.0%
					2BR / 1BA	10	11.4%	1,025	Market	\$681	N/A	Yes	0	0.0%
					3BR / 1BA	8	9.1%	1,180	@50%	\$638	No	Yes	0	0.0%
					3BR / 1BA	8	9.1%	1,180	@60%	\$678	No	Yes	0	0.0%
3BR / 1BA	4	4.5%	1,180	Market	\$743	N/A	Yes	0	0.0%					
					<u>88</u>	<u>100.0%</u>						<u>0</u>	<u>0.0%</u>	
3	Eastgate Apartments 420 Richardson Street Calhoun, GA 30701 Gordon County	23.8 miles	Garden (2 stories) 2001 / n/a Family	LIHTC, HOME	1BR / 1BA	7	12.5%	684	@50% (HOME)	\$384	No	Yes	0	0.0%
					1BR / 1BA	5	8.9%	684	@60% (HOME)	\$394	No	Yes	0	0.0%
					2BR / 1BA	19	33.9%	829	@50% (HOME)	\$465	No	Yes	0	0.0%
					2BR / 1BA	13	23.2%	829	@60% (HOME)	\$494	No	Yes	0	0.0%
					3BR / 2BA	8	14.3%	1,100	@50% (HOME)	\$518	No	Yes	0	0.0%
					3BR / 2BA	4	7.1%	1,100	@60% (HOME)	\$540	No	Yes	0	0.0%
										<u>56</u>	<u>100.0%</u>			
4	Fieldstone Apartments 400 South 2nd Avenue Chatsworth, GA 30705 Murray County	10.6 miles	Various (2 stories) 1999 / n/a Family	@50% (HOME), @60%	1BR / 1BA	12	21.4%	749	@50% (HOME)	\$400	Yes	Yes	0	0.0%
					1BR / 1BA	4	7.1%	749	@60%	\$410	Yes	Yes	0	0.0%
					2BR / 1BA	14	25.0%	889	@50% (HOME)	\$453	Yes	Yes	0	0.0%
					2BR / 1BA	6	10.7%	889	@60%	\$453	No	Yes	0	0.0%
					3BR / 2BA	14	25.0%	1,111	@50% (HOME)	\$495	Yes	Yes	1	7.1%
					3BR / 2BA	6	10.7%	1,111	@60%	\$495	No	Yes	1	16.7%
										<u>56</u>	<u>100.0%</u>			
5	Summer Breeze Park 3359 Boynton Rd Ringgold, GA 30736 Catoosa County	15.2 miles	Garden (3 stories) 2016 / n/a Family	@50%, @60%	1BR / 1BA	11	15.3%	866	@50%	\$458	No	Yes	0	0.0%
					1BR / 1BA	7	9.7%	866	@60%	\$463	No	Yes	0	0.0%
					2BR / 2BA	2	2.8%	1,069	@50%	\$531	No	Yes	0	0.0%
					2BR / 2BA	28	38.9%	1,069	@60%	\$531	No	Yes	0	0.0%
					3BR / 2BA	2	2.8%	1,239	@50%	\$598	No	Yes	0	0.0%
					3BR / 2BA	22	30.6%	1,239	@60%	\$598	No	Yes	0	0.0%
					<u>72</u>	<u>100.0%</u>						<u>0</u>	<u>0.0%</u>	
6	Dalton Beach Club 1902 Brady Drive Dalton, GA 30720 Whitfield County	3.2 miles	Townhouse (2 stories) 1985 / Ongoing Family	Market	2BR / 1.5BA	155	100.0%	1,150	Market	\$901	N/A	No	4	2.6%
					<u>155</u>	<u>100.0%</u>						<u>4</u>	<u>2.6%</u>	
7	Dalton Village Apartments 1809 Shadow Lane Dalton, GA 30720 Whitfield County	3.6 miles	Garden (3 stories) 1982 / Ongoing Family	Market	1BR / 1BA	40	28.6%	800	Market	\$750	N/A	Yes	N/A	0
					2BR / 2BA	64	45.7%	1,200	Market	\$825	N/A	Yes	N/A	0
					3BR / 2BA	36	25.7%	1,470	Market	\$975	N/A	Yes	N/A	0
										<u>140</u>	<u>100.0%</u>			
8	Emeralds Apartments 113 N. Tibbs Road Dalton, GA 30720 Whitfield County	4.2 miles	Garden (1 stories) 1967 / n/a Family	Market	1BR / 1BA	4	9.1%	900	Market	\$600	N/A	No	0	0.0%
					2BR / 2BA	30	68.2%	1,180	Market	\$775	N/A	No	2	6.7%
					3BR / 2BA	10	22.7%	1,300	Market	\$895	N/A	No	0	0.0%
										<u>44</u>	<u>100.0%</u>			
9	Legacy Of Dalton Apartments 2111 Club Drive Dalton, GA 30720 Whitfield County	3.8 miles	Garden (1 stories) 1971 / n/a Family	Market	1BR / 1BA	81	51.3%	800	Market	\$764	N/A	No	0	0.0%
					2BR / 2BA	53	33.5%	1,100	Market	\$859	N/A	No	0	0.0%
					3BR / 2BA	24	15.2%	1,300	Market	\$974	N/A	No	0	0.0%
										<u>158</u>	<u>100.0%</u>			
10	Mountain Woods Apartments 1016 Ponderosa Lane Dalton, GA 30720 Whitfield County	3.1 miles	Garden (2 stories) 1974 / n/a Family	Market, Section 8	1BR / 1BA	4	4.0%	780	Market	\$742	N/A	Yes	1	25.0%
					1BR / 1BA	20	20.0%	780	Section 8	\$700	N/A	Yes	0	0.0%
					2BR / 1BA	10	10.0%	1,000	Market	\$802	N/A	Yes	0	0.0%
					2BR / 1BA	30	30.0%	1,000	Section 8	\$750	N/A	Yes	0	0.0%
					3BR / 1BA	6	6.0%	1,215	Market	\$932	N/A	Yes	1	16.7%
					3BR / 1BA	30	30.0%	1,215	Section 8	\$850	N/A	Yes	0	0.0%
					<u>100</u>	<u>100.0%</u>						<u>2</u>	<u>2.0%</u>	
11	Stone Ridge Apartments 1104 Walston Street Dalton, GA 30720 Whitfield County	3.4 miles	Various (1 stories) 1973 / n/a Family	Market	1BR / 1BA	28	28.0%	800	Market	\$628	N/A	No	0	0.0%
					2BR / 2BA	24	24.0%	1,251	Market	\$695	N/A	No	0	0.0%
					2BR / 2BA	24	24.0%	1,200	Market	\$730	N/A	No	2	8.3%
					3BR / 2BA	24	24.0%	1,360	Market	\$774	N/A	No	0	0.0%
										<u>100</u>	<u>100.0%</u>			

**DAWNVILLE MEADOWS – DALTON, GEORGIA – MARKET STUDY**

<b>RENT AND SQUARE FOOTAGE RANKING – All rents adjusted for utilities and concessions extracted from the market.</b>				
	Units Surveyed:	1,099	Weighted Occupancy:	97.2%
	Market Rate	597	Market Rate	95.5%
	Tax Credit	502	Tax Credit	99.2%
<b>Two-Bedroom Two Bath</b>		<b>Three-Bedroom Two Bath</b>		
	<b>Property</b>	<b>Average</b>	<b>Property</b>	<b>Average</b>
<b>RENT</b>	Dalton Beach Club (Market)(1.5BA)	\$901	Autumn Ridge (Market)	\$978
	Autumn Ridge (Market)	\$866	Dalton Village Apartments (Market)	\$975
	Legacy Of Dalton Apartments (Market)	\$859	Legacy Of Dalton Apartments (Market)	\$974
	Dalton Village Apartments (Market)	\$825	Mountain Woods Apartments (Market)(1BA)	\$932
	Mountain Woods Apartments (Market)(1BA)	\$802	Emeralds Apartments (Market)	\$895
	Emeralds Apartments (Market)	\$775	Mountain Woods Apartments (Section 8)(1BA)	\$850
	Mountain Woods Apartments (Section 8)(1BA)	\$750	Stone Ridge Apartments (Market)	\$774
	Stone Ridge Apartments (Market)	\$730	Autumn Ridge (@60%)	\$749
	Stone Ridge Apartments (Market)	\$695	<b>Dawnville Meadows - As Renovated (@60%)</b>	<b>\$743</b>
	Bedford Place (Market)(1BA)	\$681	Bedford Place (Market)(1BA)	\$743
	Autumn Ridge (@60%)	\$665	Bedford Place (@60%)(1BA)	\$678
	<b>Dawnville Meadows - As Renovated (@60%)</b>	<b>\$652</b>	Bedford Place (@50%)(1BA)	\$638
	Bedford Place (@60%)(1BA)	\$601	Autumn Ridge (@50%)	\$601
	Bedford Place (@50%)(1BA)	\$586	Summer Breeze Park (@50%)	\$598
	Autumn Ridge (@50%)	\$537	Summer Breeze Park (@60%)	\$598
	Summer Breeze Park (@50%)	\$531	Eastgate Apartments (@60%)	\$540
	Summer Breeze Park (@60%)	\$531	Eastgate Apartments (@50%)	\$518
	Eastgate Apartments (@60%)(1BA)	\$494	Fieldstone Apartments (@60%)	\$495
	Eastgate Apartments (@50%)(1BA)	\$465	Fieldstone Apartments (@50%)	\$495
	Fieldstone Apartments (@50%)(1BA)	\$453	Autumn Ridge (@30%)	\$306
Fieldstone Apartments (@60%)(1BA)	\$453			
Bedford Place (@30%)(1BA)	\$325			
<b>SQUARE FOOTAGE</b>	Stone Ridge Apartments (Market)	1,251	Autumn Ridge (@30%)	1,486
	Autumn Ridge (@50%)	1,208	Autumn Ridge (@60%)	1,486
	Autumn Ridge (@60%)	1,208	Autumn Ridge (Market)	1,486
	Autumn Ridge (Market)	1,208	Autumn Ridge (@50%)	1,486
	Stone Ridge Apartments (Market)	1,200	Dalton Village Apartments (Market)	1,470
	Dalton Village Apartments (Market)	1,200	Stone Ridge Apartments (Market)	1,360
	Emeralds Apartments (Market)	1,180	Emeralds Apartments (Market)	1,300
	Dalton Beach Club (Market)(1.5BA)	1,150	Legacy Of Dalton Apartments (Market)	1,300
	Legacy Of Dalton Apartments (Market)	1,100	<b>Dawnville Meadows - As Renovated (@60%)</b>	<b>1,248</b>
	Summer Breeze Park (@50%)	1,069	Summer Breeze Park (@50%)	1,239
	Summer Breeze Park (@60%)	1,069	Summer Breeze Park (@60%)	1,239
	Bedford Place (Market)(1BA)	1,025	Mountain Woods Apartments (Section 8)(1BA)	1,215
	Bedford Place (@50%)(1BA)	1,025	Mountain Woods Apartments (Market)(1BA)	1,215
	Bedford Place (@30%)(1BA)	1,025	Bedford Place (@60%)(1BA)	1,180
	Bedford Place (@60%)(1BA)	1,025	Bedford Place (Market)(1BA)	1,180
	Mountain Woods Apartments (Market)(1BA)	1,000	Bedford Place (@50%)(1BA)	1,180
	Mountain Woods Apartments (Section 8)(1BA)	1,000	Fieldstone Apartments (@60%)	1,111
	<b>Dawnville Meadows - As Renovated (@60%)</b>	<b>948</b>	Fieldstone Apartments (@50%)	1,111
	Fieldstone Apartments (@50%)(1BA)	889	Eastgate Apartments (@50%)	1,100
	Fieldstone Apartments (@60%)(1BA)	889	Eastgate Apartments (@60%)	1,100
Eastgate Apartments (@60%)(1BA)	829			
Eastgate Apartments (@50%)(1BA)	829			
<b>RENT PER SQUARE FOOT</b>	Mountain Woods Apartments (Market)(1BA)	\$0.80	Mountain Woods Apartments (Market)(1BA)	\$0.77
	Dalton Beach Club (Market)(1.5BA)	\$0.78	Legacy Of Dalton Apartments (Market)	\$0.75
	Legacy Of Dalton Apartments (Market)	\$0.78	Mountain Woods Apartments (Section 8)(1BA)	\$0.70
	Mountain Woods Apartments (Section 8)(1BA)	\$0.75	Emeralds Apartments (Market)	\$0.69
	Autumn Ridge (Market)	\$0.72	Dalton Village Apartments (Market)	\$0.66
	<b>Dawnville Meadows - As Renovated (@60%)</b>	<b>\$0.69</b>	Autumn Ridge (Market)	\$0.66
	Dalton Village Apartments (Market)	\$0.69	Bedford Place (Market)(1BA)	\$0.63
	Bedford Place (Market)(1BA)	\$0.66	<b>Dawnville Meadows - As Renovated (@60%)</b>	<b>\$0.60</b>
	Emeralds Apartments (Market)	\$0.66	Bedford Place (@60%)(1BA)	\$0.57
	Stone Ridge Apartments (Market)	\$0.61	Stone Ridge Apartments (Market)	\$0.57
	Eastgate Apartments (@60%)(1BA)	\$0.60	Bedford Place (@50%)(1BA)	\$0.54
	Bedford Place (@60%)(1BA)	\$0.59	Autumn Ridge (@60%)	\$0.50
	Bedford Place (@50%)(1BA)	\$0.57	Eastgate Apartments (@60%)	\$0.49
	Eastgate Apartments (@50%)(1BA)	\$0.56	Summer Breeze Park (@50%)	\$0.48
	Stone Ridge Apartments (Market)	\$0.56	Summer Breeze Park (@60%)	\$0.48
Autumn Ridge (@60%)	\$0.55	Eastgate Apartments (@50%)	\$0.47	

# PROPERTY PROFILE REPORT

## Dawnville Meadows - As Renovated

Effective Rent Date	10/03/2018
Location	161 Dawnville Road NE Dalton, GA 30721 Whitfield County
Distance	N/A
Units	120
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (2 stories)
Year Built/Renovated	2000 / 2019
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	N/A
Tenant Characteristics	N/A
Contact Name	N/A
Phone	N/A



### Market Information

Program	@60%
Annual Turnover Rate	N/A
Units/Month Absorbed	N/A
HCV Tenants	N/A
Leasing Pace	N/A
Annual Chg. in Rent	N/A
Concession	N/A
Waiting List	None

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
2	2	Garden (2 stories)	80	948	\$652	\$0	@60%	N/A	0	0.0%	yes	None
3	2	Garden (2 stories)	40	1,248	\$743	\$0	@60%	N/A	0	0.0%	yes	None

### Unit Mix

@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
2BR / 2BA	\$652	\$0	\$652	\$0	\$652
3BR / 2BA	\$743	\$0	\$743	\$0	\$743



## Dawnville Meadows - As Renovated, continued

### Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	Perimeter Fencing	None
Carpet/Hardwood	Carpeting		
Central A/C	Coat Closet		
Dishwasher	Exterior Storage		
Ceiling Fan	Garbage Disposal		
Oven	Refrigerator		
Walk-In Closet	Washer/Dryer hookup		
Property		Premium	Other
Business Center/Computer Lab	Courtyard	None	None
Exercise Facility	Central Laundry		
Off-Street Parking	On-Site Management		
Picnic Area	Playground		
Recreation Areas	Swimming Pool		
Volleyball Court			

### Comments

None

# PROPERTY PROFILE REPORT

## Autumn Ridge

Effective Rent Date	9/27/2018
Location	850 Autumn Court Dalton, GA 30721 Whitfield County
Distance	0.6 miles
Units	130
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (2 stories)
Year Built/Renovated	2004 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	Dawnville Meadows
Tenant Characteristics	Families and couples from the surrounding area, a few seniors
Contact Name	Rachel
Phone	706.226.0404



### Market Information

Program	@30%, @50%, @60%, Market
Annual Turnover Rate	28%
Units/Month Absorbed	N/A
HCV Tenants	2%
Leasing Pace	Pre-leased to one week
Annual Chg. in Rent	Increase 5% since May 2016
Concession	None
Waiting List	Yes; approximately 24 applicants

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (2 stories)	N/A	892	\$422	\$0	@50%	Yes	0	N/A	no	None
1	1	Garden (2 stories)	N/A	892	\$529	\$0	@60%	Yes	0	N/A	no	None
1	1	Garden (2 stories)	N/A	892	\$715	\$0	Market	Yes	0	N/A	N/A	None
2	2	Garden (2 stories)	N/A	1,208	\$486	\$0	@50%	Yes	0	N/A	no	None
2	2	Garden (2 stories)	N/A	1,208	\$614	\$0	@60%	Yes	0	N/A	no	None
2	2	Garden (2 stories)	N/A	1,208	\$815	\$0	Market	Yes	0	N/A	N/A	None
3	2	Garden (2 stories)	N/A	1,486	\$243	\$0	@30%	Yes	0	N/A	no	None
3	2	Garden (2 stories)	N/A	1,486	\$538	\$0	@50%	Yes	0	N/A	no	None
3	2	Garden (2 stories)	N/A	1,486	\$686	\$0	@60%	Yes	0	N/A	no	None
3	2	Garden (2 stories)	N/A	1,486	\$915	\$0	Market	Yes	0	N/A	N/A	None



# Autumn Ridge, continued

## Trend Report

### Vacancy Rates

2Q14	2Q15	2Q16	3Q18
6.2%	0.0%	1.5%	0.0%

### Trend: @30%

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2014	2	N/A	\$221	\$0	\$221	\$284
2015	2	N/A	\$221	\$0	\$221	\$284
2016	2	N/A	\$238	\$0	\$238	\$301
2018	3	N/A	\$243	\$0	\$243	\$306

### Trend: @50%

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2014	2	N/A	\$381	\$0	\$381	\$424
2015	2	N/A	\$381	\$0	\$381	\$424
2016	2	N/A	\$402	\$0	\$402	\$445
2018	3	N/A	\$422	\$0	\$422	\$465

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2014	2	N/A	\$448	\$0	\$448	\$499
2015	2	N/A	\$448	\$0	\$448	\$499
2016	2	N/A	\$466	\$0	\$466	\$517
2018	3	N/A	\$486	\$0	\$486	\$537

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2014	2	N/A	\$502	\$0	\$502	\$565
2015	2	N/A	\$502	\$0	\$502	\$565
2016	2	N/A	\$519	\$0	\$519	\$582
2018	3	N/A	\$538	\$0	\$538	\$601

### Trend: @60%

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2014	2	N/A	\$482	\$0	\$482	\$525
2015	2	N/A	\$482	\$0	\$482	\$525
2016	2	N/A	\$503	\$0	\$503	\$546
2018	3	N/A	\$529	\$0	\$529	\$572

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2014	2	N/A	\$570	\$0	\$570	\$621
2015	2	N/A	\$570	\$0	\$570	\$621
2016	2	N/A	\$588	\$0	\$588	\$639
2018	3	N/A	\$614	\$0	\$614	\$665

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2014	2	N/A	\$643	\$0	\$643	\$706
2015	2	N/A	\$643	\$0	\$643	\$706
2016	2	N/A	\$660	\$0	\$660	\$723
2018	3	N/A	\$686	\$0	\$686	\$749

### Trend: Market

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2014	2	N/A	\$687	\$0	\$687	\$730
2015	2	N/A	\$687	\$0	\$687	\$730
2016	2	N/A	\$715	\$0	\$715	\$758
2018	3	N/A	\$715	\$0	\$715	\$758

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2014	2	N/A	\$780	\$0	\$780	\$831
2015	2	N/A	\$780	\$0	\$780	\$831
2016	2	N/A	\$815	\$0	\$815	\$866
2018	3	N/A	\$815	\$0	\$815	\$866

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2014	2	N/A	\$880	\$0	\$880	\$943
2015	2	N/A	\$880	\$0	\$880	\$943
2016	2	N/A	\$915	\$0	\$915	\$978
2018	3	N/A	\$915	\$0	\$915	\$978

### Trend: Comments

- 2Q14      Manager stated that three bedrooms are in highest demand because of the large number of families in Dalton. Contact did not know annual turnover. The waiting list is about 10 to 15 households. The contact noted that the strong occupancy at the property has been consistent over the past few years. She noted that Autumn Ridge is one of the nicest properties in the Dalton area, so there is always demand for the units.
- 2Q15      Manager stated that three bedrooms are in highest demand because of the large number of families in Dalton. Contact did not know annual turnover. The waiting list is about three months. The contact noted that the strong occupancy at the property has been consistent over the past few years. She noted that Autumn Ridge is one of the nicest properties in the Dalton area, so there is always demand for the units.
- 2Q16      The contact reported significant demand in the market for additional LIHTC housing. The property has applications pending on the two vacancies and the contact expects both will be approved. There are a total of ten households on the waiting list, a couple for each unit type and AMI level.
- 3Q18      The contact reported significant demand in the market for additional LIHTC housing. The waiting list contains 24 applicants, four applicants waiting for one-bedrooms, 12 applicants for two-bedrooms, and eight applicants for three-bedrooms. The contact also reported that she feels the property could offer maximum allowable rent and maintain a full occupancy, however, they choose not to as their tenants maintain long tenure at the property and management does not want to raise their rents.

Photos



# PROPERTY PROFILE REPORT

## Bedford Place

Effective Rent Date	10/05/2018
Location	60 Bedford Place Ringgold, GA 30736 Catoosa County
Distance	12.2 miles
Units	88
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (2 stories)
Year Built/Renovated	2004 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	Approximately 25 percent seniors
Contact Name	Monica
Phone	706-937-6268



### Market Information

Program	@30%, @50%, @60%, Market
Annual Turnover Rate	20%
Units/Month Absorbed	N/A
HCV Tenants	6%
Leasing Pace	Within two weeks
Annual Chg. in Rent	None
Concession	None
Waiting List	Yes; approximately three to six months

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (2 stories)	2	783	\$231	\$0	@30%	Yes	0	0.0%	no	None
1	1	Garden (2 stories)	8	783	\$465	\$0	@50%	Yes	0	0.0%	no	None
1	1	Garden (2 stories)	6	783	\$475	\$0	@60%	Yes	0	0.0%	no	None
1	1	Garden (2 stories)	4	783	\$530	\$0	Market	Yes	0	0.0%	N/A	None
2	1	Garden (2 stories)	3	1,025	\$274	\$0	@30%	Yes	0	0.0%	no	None
2	1	Garden (2 stories)	24	1,025	\$535	\$0	@50%	Yes	0	0.0%	no	None
2	1	Garden (2 stories)	11	1,025	\$550	\$0	@60%	Yes	0	0.0%	no	None
2	1	Garden (2 stories)	10	1,025	\$630	\$0	Market	Yes	0	0.0%	N/A	None
3	1	Garden (2 stories)	8	1,180	\$575	\$0	@50%	Yes	0	0.0%	no	None
3	1	Garden (2 stories)	8	1,180	\$615	\$0	@60%	Yes	0	0.0%	no	None
3	1	Garden (2 stories)	4	1,180	\$680	\$0	Market	Yes	0	0.0%	N/A	None

## Bedford Place, continued

### Unit Mix

@30%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$231	\$0	\$231	\$43	\$274	1BR / 1BA	\$465	\$0	\$465	\$43	\$508
2BR / 1BA	\$274	\$0	\$274	\$51	\$325	2BR / 1BA	\$535	\$0	\$535	\$51	\$586
						3BR / 1BA	\$575	\$0	\$575	\$63	\$638
@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$475	\$0	\$475	\$43	\$518	1BR / 1BA	\$530	\$0	\$530	\$43	\$573
2BR / 1BA	\$550	\$0	\$550	\$51	\$601	2BR / 1BA	\$630	\$0	\$630	\$51	\$681
3BR / 1BA	\$615	\$0	\$615	\$63	\$678	3BR / 1BA	\$680	\$0	\$680	\$63	\$743

### Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	Intercom (Buzzer)	None
Carpet/Hardwood	Central A/C	Limited Access	
Coat Closet	Dishwasher		
Garbage Disposal	Oven		
Refrigerator	Washer/Dryer hookup		
Property		Premium	Other
Basketball Court	Business Center/Computer Lab	None	None
Exercise Facility	Central Laundry		
Off-Street Parking	On-Site Management		
Picnic Area			

### Comments

The contact provided no additional information.



# Bedford Place, continued

## Trend Report

### Vacancy Rates

2Q12	4Q14	1Q15	4Q18
4.5%	3.4%	1.1%	0.0%

### Trend: @30%

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2012	2	N/A	\$203	\$0	\$203	\$246
2014	4	N/A	\$218	\$0	\$218	\$261
2015	1	N/A	\$218	\$0	\$218	\$261
2018	4	0.0%	\$231	\$0	\$231	\$274

#### 2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2012	2	N/A	\$236	\$0	\$236	\$287
2014	4	N/A	\$255	\$0	\$255	\$306
2015	1	N/A	\$255	\$0	\$255	\$306
2018	4	0.0%	\$274	\$0	\$274	\$325

#### 3BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
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### Trend: @50%

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2012	2	N/A	\$410	\$0	\$410	\$453
2014	4	N/A	\$425	\$0	\$425	\$468
2015	1	N/A	\$425	\$0	\$425	\$468
2018	4	0.0%	\$465	\$0	\$465	\$508

#### 2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2012	2	N/A	\$480	\$0	\$480	\$531
2014	4	N/A	\$495	\$0	\$495	\$546
2015	1	N/A	\$495	\$0	\$495	\$546
2018	4	0.0%	\$535	\$0	\$535	\$586

#### 3BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
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2012	2	N/A	\$535	\$0	\$535	\$598
2014	4	N/A	\$535	\$0	\$535	\$598
2015	1	N/A	\$535	\$0	\$535	\$598
2018	4	0.0%	\$575	\$0	\$575	\$638

### Trend: @60%

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2012	2	N/A	\$420	\$0	\$420	\$463
2014	4	N/A	\$430	\$0	\$430	\$473
2015	1	N/A	\$430	\$0	\$430	\$473
2018	4	0.0%	\$475	\$0	\$475	\$518

#### 2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2012	2	N/A	\$490	\$0	\$490	\$541
2014	4	N/A	\$505	\$0	\$505	\$556
2015	1	N/A	\$505	\$0	\$505	\$556
2018	4	0.0%	\$550	\$0	\$550	\$601

#### 3BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2012	2	N/A	\$570	\$0	\$570	\$633
2014	4	N/A	\$570	\$0	\$570	\$633
2015	1	N/A	\$570	\$0	\$570	\$633
2018	4	0.0%	\$615	\$0	\$615	\$678

### Trend: Market

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2012	2	N/A	\$465	\$0	\$465	\$508
2014	4	N/A	\$486	\$0	\$486	\$529
2015	1	N/A	\$486	\$0	\$486	\$529
2018	4	0.0%	\$530	\$0	\$530	\$573

#### 2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2012	2	N/A	\$575	\$0	\$575	\$626
2014	4	N/A	\$575	\$0	\$575	\$626
2015	1	N/A	\$575	\$0	\$575	\$626
2018	4	0.0%	\$630	\$0	\$630	\$681

#### 3BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2012	2	N/A	\$625	\$0	\$625	\$688
2014	4	N/A	\$625	\$0	\$625	\$688
2015	1	N/A	\$625	\$0	\$625	\$688
2018	4	0.0%	\$680	\$0	\$680	\$743

Trend: Comments

- |      |   |
|------|---|
| 2Q12 | Management was unable to provide a breakdown of units by AMI level, or vacancy by unit type. The contact reported that vacancies are typically filled from a property-wide 20 household waiting list. |
| 4Q14 | Management was unable to provide a breakdown of units by AMI level, or vacancy by unit type. The contact reported that vacancies are typically filled from a property-wide waiting list.              |
| 1Q15 | The contact reported that vacancies are typically filled from a property-wide waiting list. Management reported that the property typically maintains a vacancy rate of five percent or less.         |
| 4Q18 | The contact provided no additional information.   |

Photos



# PROPERTY PROFILE REPORT

## Eastgate Apartments

Effective Rent Date	10/10/2018
Location	420 Richardson Street Calhoun, GA 30701 Gordon County
Distance	23.8 miles
Units	56
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (2 stories)
Year Built/Renovated	2001 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	Mostly families from all over the area, not just within the city
Contact Name	Management
Phone	706.602.0044



### Market Information

Program	LIHTC, HOME
Annual Turnover Rate	18%
Units/Month Absorbed	N/A
HCV Tenants	2%
Leasing Pace	Pre-leased to one week
Annual Chg. in Rent	None
Concession	None
Waiting List	Yes; approximately 100 households

### Utilities

A/C	not included -- central
Cooking	not included -- gas
Water Heat	not included -- gas
Heat	not included -- gas
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (2 stories)	7	684	\$384	\$0	@50% (HOME)	Yes	0	0.0%	no	None
1	1	Garden (2 stories)	5	684	\$394	\$0	@60% (HOME)	Yes	0	0.0%	no	None
2	1	Garden (2 stories)	19	829	\$465	\$0	@50% (HOME)	Yes	0	0.0%	no	None
2	1	Garden (2 stories)	13	829	\$494	\$0	@60% (HOME)	Yes	0	0.0%	no	None
3	2	Garden (2 stories)	8	1,100	\$518	\$0	@50% (HOME)	Yes	0	0.0%	no	None
3	2	Garden (2 stories)	4	1,100	\$540	\$0	@60% (HOME)	Yes	0	0.0%	no	None

### Unit Mix

@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$384	\$0	\$384	\$0	\$384	1BR / 1BA	\$394	\$0	\$394	\$0	\$394
2BR / 1BA	\$465	\$0	\$465	\$0	\$465	2BR / 1BA	\$494	\$0	\$494	\$0	\$494
3BR / 2BA	\$518	\$0	\$518	\$0	\$518	3BR / 2BA	\$540	\$0	\$540	\$0	\$540

## Eastgate Apartments, continued

### Amenities

In-Unit		Security	Services
Blinds	Carpeting	None	None
Central A/C	Dishwasher		
Exterior Storage	Garbage Disposal		
Oven	Refrigerator		
Washer/Dryer hookup			
Property		Premium	Other
Basketball Court	Clubhouse/Meeting Room/Community	None	None
Central Laundry	Off-Street Parking		
On-Site Management	Picnic Area		
Playground			

### Comments

The contact reported that they could most likely achieve rents at the maximum allowable levels, but they choose not to as their tenants maintain long tenure at the property and management does not want to raise their rents.

# Eastgate Apartments, continued

## Trend Report

### Vacancy Rates

1Q05	2Q07	2Q13	4Q18
0.0%	0.0%	0.0%	0.0%

### Trend: @50%

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2005	1	0.0%	\$279	\$0	\$279	\$279
2007	2	0.0%	\$335	\$0	\$335	\$335
2013	2	0.0%	\$375	\$0	\$375	\$375
2018	4	0.0%	\$384	\$0	\$384	\$384

#### 2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2005	1	0.0%	\$347	\$0	\$347	\$347
2007	2	0.0%	\$435	\$0	\$435	\$435
2013	2	0.0%	\$442	\$0	\$442	\$442
2018	4	0.0%	\$465	\$0	\$465	\$465

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2005	1	0.0%	\$454	\$0	\$454	\$454
2007	2	0.0%	\$525	\$0	\$525	\$525
2013	2	0.0%	\$500	\$0	\$500	\$500
2018	4	0.0%	\$518	\$0	\$518	\$518

### Trend: @60%

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2005	1	0.0%	\$279	\$0	\$279	\$279
2007	2	0.0%	\$335	\$0	\$335	\$335
2013	2	0.0%	\$375	\$0	\$375	\$375
2018	4	0.0%	\$394	\$0	\$394	\$394

#### 2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2005	1	0.0%	\$347	\$0	\$347	\$347
2007	2	0.0%	\$435	\$0	\$435	\$435
2013	2	0.0%	\$470	\$0	\$470	\$470
2018	4	0.0%	\$494	\$0	\$494	\$494

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2005	1	0.0%	\$454	\$0	\$454	\$454
2007	2	0.0%	\$525	\$0	\$525	\$525
2013	2	0.0%	\$520	\$0	\$520	\$520
2018	4	0.0%	\$540	\$0	\$540	\$540

## Trend: Comments

1Q05	Eastgate Apartments is owned and managed by Stewart Properties, which also operates the Forest Heights properties as well as several other RD and market-rate communities in the area. This is one of only two LIHTC properties in the area. The other, Catoose Senior Village, is for seniors only. Eastgate caters to families with its mix of one, two and three-bedroom units. As the only family-oriented LIHTC property in the county, it draws from a large tenant base, not just within the city limits. It also has a long waiting list. Rents decreased a small amount in June due to adjustments in the utility allowances. Management believes the market is very healthy. This property's strong performance shows that there is demand in the area for quality affordable housing.
2Q07	Contact said that the Annual Turnover Rate is usually really low. The property does accept Section 8 Tenants however, contact was unable to specify the total amount of tenants utilizing vouchers at this time. Contact said that they are in the process of installing a new security system on the property and, should be finishing it up in about 2-3 weeks.
2Q13	Contact stated that the property is 100 percent occupied and maintains a waiting list of 50 households for three-bedroom units, 25 households for two-bedroom units, and 25 households for one-bedroom units. Contact further stated that the property has many long-term tenants and low turnover.
4Q18	The contact reported that they could most likely achieve rents at the maximum allowable levels, but they choose not to as their tenants maintain long tenure at the property and management does not want to raise their rents.

# PROPERTY PROFILE REPORT

## Fieldstone Apartments

Effective Rent Date	10/10/2018
Location	400 South 2nd Avenue Chatsworth, GA 30705 Murray County
Distance	10.6 miles
Units	56
Vacant Units	2
Vacancy Rate	3.6%
Type	Garden (2 stories)
Year Built/Renovated	1999 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	Cahutta Shadows
Tenant Characteristics	Families
Contact Name	Kathy
Phone	706.517.8625



### Market Information

Program	@50% (HOME), @60%
Annual Turnover Rate	40%
Units/Month Absorbed	N/A
HCV Tenants	9%
Leasing Pace	Within two weeks
Annual Chg. in Rent	Approx. 4% increase since 2Q2016
Concession	None
Waiting List	Yes; 19 households

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (2 stories)	12	749	\$357	\$0	@50% (HOME)	Yes	0	0.0%	yes	None
1	1	Garden (2 stories)	4	749	\$367	\$0	@60%	Yes	0	0.0%	yes	None
2	1	Garden (2 stories)	14	889	\$402	\$0	@50% (HOME)	Yes	0	0.0%	yes	None
2	1	Garden (2 stories)	6	889	\$402	\$0	@60%	Yes	0	0.0%	no	None
3	2	Garden (2 stories)	14	1,111	\$432	\$0	@50% (HOME)	Yes	1	7.1%	yes	None
3	2	Garden (2 stories)	6	1,111	\$432	\$0	@60%	Yes	1	16.7%	no	None

### Unit Mix

@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$357	\$0	\$357	\$43	\$400	1BR / 1BA	\$367	\$0	\$367	\$43	\$410
2BR / 1BA	\$402	\$0	\$402	\$51	\$453	2BR / 1BA	\$402	\$0	\$402	\$51	\$453
3BR / 2BA	\$432	\$0	\$432	\$63	\$495	3BR / 2BA	\$432	\$0	\$432	\$63	\$495

## Fieldstone Apartments, continued

### Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	None	None
Carpeting	Central A/C		
Coat Closet	Dishwasher		
Exterior Storage	Garbage Disposal		
Oven	Refrigerator		
Washer/Dryer hookup			
Property		Premium	Other
Business Center/Computer Lab	Clubhouse/Meeting Room/Community	None	None
Central Laundry	Off-Street Parking		
On-Site Management	Picnic Area		
Playground			

### Comments

The contact was not able to provide information as to why a portion of the rents were not at the maximum allowable levels.



# Fieldstone Apartments, continued

## Trend Report

### Vacancy Rates

2Q14	2Q15	2Q16	3Q18
12.5%	5.4%	3.6%	3.6%

### Trend: @50%

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2014	2	12.5%	\$307	\$0	\$307	\$350
2015	2	6.2%	\$307	\$0	\$307	\$350
2016	2	0.0%	\$327	\$0	\$327	\$370
2018	3	0.0%	\$357	\$0	\$357	\$400

#### 2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2014	2	10.0%	\$342	\$0	\$342	\$393
2015	2	5.0%	\$342	\$0	\$342	\$393
2016	2	5.0%	\$362	\$0	\$362	\$413
2018	3	0.0%	\$402	\$0	\$402	\$453

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2014	2	15.0%	\$372	\$0	\$372	\$435
2015	2	5.0%	\$372	\$0	\$372	\$435
2016	2	5.0%	\$392	\$0	\$392	\$455
2018	3	7.1%	\$432	\$0	\$432	\$495

### Trend: @60%

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	\$367	\$0	\$367	\$410

#### 2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	\$402	\$0	\$402	\$453

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	16.7%	\$432	\$0	\$432	\$495

## Trend: Comments

2Q14	It takes more than a month to fill a vacant unit because many potential tenants are overqualified for the income limits, therefore, there seems to be demand for 60% AMI level units in the area. There are approximately eight applicants on the waiting list who want ground floor apartments. The units most in demand are the three bedroom units due to many families looking to rent. The property currently has seven vacant units due to natural turnover. The PM noted that two of the units have been leased, which equates to a leased occupancy rate of 91 percent.
2Q15	The waiting list is approximately 1.5 years or longer. The manager indicated that there are three vacant units that will be filled from the waiting list. The units most in demand are the three bedroom units due to many families looking to rent.
2Q16	The contact reported that the property typically remains well occupied, however, the income limits for LIHTC properties in the area have recently been lowered. As a result, she has recently had to turn down many applicants that are over income. The contact estimated 10 households on the aggregate waiting list. The two vacancies are pre-leased.
3Q18	The contact was not able to provide information as to why a portion of the rents were not at the maximum allowable levels.

Photos



# PROPERTY PROFILE REPORT

## Summer Breeze Park

Effective Rent Date	9/27/2018
Location	3359 Boynton Rd Ringgold, GA 30736 Catoosa County
Distance	15.2 miles
Units	72
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (3 stories)
Year Built/Renovated	2016 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None Identified
Tenant Characteristics	Mixed tenancy
Contact Name	Tonya
Phone	(706) 229-7440



### Market Information

Program	@50%, @60%
Annual Turnover Rate	30%
Units/Month Absorbed	N/A
HCV Tenants	3%
Leasing Pace	Within five days
Annual Chg. in Rent	None reported
Concession	None
Waiting List	Yes; 37 households

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (3 stories)	11	866	\$415	\$0	@50%	Yes	0	0.0%	no	None
1	1	Garden (3 stories)	7	866	\$420	\$0	@60%	Yes	0	0.0%	no	None
2	2	Garden (3 stories)	2	1,069	\$480	\$0	@50%	Yes	0	0.0%	no	None
2	2	Garden (3 stories)	28	1,069	\$480	\$0	@60%	Yes	0	0.0%	no	None
3	2	Garden (3 stories)	2	1,239	\$535	\$0	@50%	Yes	0	0.0%	no	None
3	2	Garden (3 stories)	22	1,239	\$535	\$0	@60%	Yes	0	0.0%	no	None

### Unit Mix

@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$415	\$0	\$415	\$43	\$458	1BR / 1BA	\$420	\$0	\$420	\$43	\$463
2BR / 2BA	\$480	\$0	\$480	\$51	\$531	2BR / 2BA	\$480	\$0	\$480	\$51	\$531
3BR / 2BA	\$535	\$0	\$535	\$63	\$598	3BR / 2BA	\$535	\$0	\$535	\$63	\$598

Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	None	Adult Education
Carpeting	Central A/C		
Coat Closet	Dishwasher		
Exterior Storage	Ceiling Fan		
Garbage Disposal	Microwave		
Oven	Refrigerator		
Washer/Dryer hookup			
Property		Premium	Other
Business Center/Computer Lab	Clubhouse/Meeting Room/Community	None	library
Central Laundry	Off-Street Parking		
On-Site Management	Picnic Area		
Playground			

Comments

The contact reported that she believes the property could achieve rents at the maximum allowable rents and still maintain maximum occupancy; however, the contact did not report a reason as to why the rents are below the maximum levels at the time of survey. The property maintains a waiting list of approximately 15, 15, and seven households for one, two, and three-bedroom units, respectively.

## Summer Breeze Park, continued

### Trend Report

#### Vacancy Rates

1Q15	3Q18
N/A	0.0%

#### Trend: @50%

##### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	1	N/A	\$388	\$0	\$388	\$431
2018	3	0.0%	\$415	\$0	\$415	\$458

##### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	1	N/A	\$460	\$0	\$460	\$511
2018	3	0.0%	\$480	\$0	\$480	\$531

##### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	1	N/A	\$513	\$0	\$513	\$576
2018	3	0.0%	\$535	\$0	\$535	\$598

#### Trend: @60%

##### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	1	N/A	\$395	\$0	\$395	\$438
2018	3	0.0%	\$420	\$0	\$420	\$463

##### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	1	N/A	\$460	\$0	\$460	\$511
2018	3	0.0%	\$480	\$0	\$480	\$531

##### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	1	N/A	\$520	\$0	\$520	\$583
2018	3	0.0%	\$535	\$0	\$535	\$598

### Trend: Comments

1Q15	The proposed development is scheduled to be completed in June 2016.
3Q18	The contact reported that she believes the property could achieve rents at the maximum allowable rents and still maintain maximum occupancy; however, the contact did not report a reason as to why the rents are below the maximum levels at the time of survey. The property maintains a waiting list of approximately 15, 15, and seven households for one, two, and three-bedroom units, respectively.

Photos



# PROPERTY PROFILE REPORT

## Dalton Beach Club

Effective Rent Date	10/04/2018
Location	1902 Brady Drive Dalton, GA 30720 Whitfield County
Distance	3.2 miles
Units	155
Vacant Units	4
Vacancy Rate	2.6%
Type	Townhouse (2 stories)
Year Built/Renovated	1985 / Ongoing
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None Identified
Tenant Characteristics	Mostly families
Contact Name	Melita
Phone	706.279.1801



### Market Information

Program	Market
Annual Turnover Rate	19%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within two weeks
Annual Chg. in Rent	Increased 20% since 1Q2018
Concession	None
Waiting List	None

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
2	1.5	Townhouse (2 stories)	155	1,150	\$850	\$0	Market	No	4	2.6%	N/A	None

### Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
2BR / 1.5BA	\$850	\$0	\$850	\$51	\$901

### Amenities

In-Unit	Security	Services
Balcony/Patio	None	None
Carpeting		
Dishwasher		
Fireplace		
Oven		
Walk-In Closet		
Blinds		
Central A/C		
Ceiling Fan		
Hand Rails		
Refrigerator		
Washer/Dryer hookup		
Property	Premium	Other
Off-Street Parking	None	None
Playground		
Tennis Court		
On-Site Management		
Swimming Pool		

Comments

The contact reported that renovations are being conducted on units once they become available. Renovations include new vinyl floors, painted walls, stainless steel appliances, and new carpets. Once finished, rates for renovated apartments are \$25 higher than non-renovated apartments. The rents reported are for the renovated units. The property does not accept Housing Choice Vouchers.



## Dalton Beach Club, continued

### Trend Report

#### Vacancy Rates

2Q15	4Q17	2Q18	4Q18
0.6%	0.0%	0.6%	2.6%

### Trend: Market

#### 2BR / 1.5BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	2	N/A	\$655 - \$675	\$0	\$655 - \$675	\$706 - \$726
2017	4	0.0%	\$705	\$0	\$705	\$756
2018	2	0.6%	\$730	\$0	\$730	\$781
2018	4	2.6%	\$850	\$0	\$850	\$901

### Trend: Comments

2Q15	Property formerly known as Brookside Village Apartments. Contact did not know annual turnover and the property does not accept Section 8 tenants. The manager report that there is a waiting list of approximately one month.
4Q17	N/A
2Q18	Current vacancy has an application pending approval.
4Q18	The contact reported that renovations are being conducted on units once they become available. Renovations include new vinyl floors, painted walls, stainless steel appliances, and new carpets. Once finished, rates for renovated apartments are \$25 higher than non-renovated apartments. The rents reported are for the renovated units. The property does not accept Housing Choice Vouchers.

Photos



# PROPERTY PROFILE REPORT

## Dalton Village Apartments

Effective Rent Date	10/10/2018
Location	1809 Shadow Lane Dalton, GA 30720 Whitfield County
Distance	3.6 miles
Units	140
Vacant Units	19
Vacancy Rate	13.6%
Type	Garden (3 stories)
Year Built/Renovated	1982 / Ongoing
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None Identified
Tenant Characteristics	Mixed tenancy
Contact Name	Katherine
Phone	706.226.6424



### Market Information

Program	Market
Annual Turnover Rate	26%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within one month
Annual Chg. in Rent	None
Concession	None
Waiting List	Yes; five households

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (3 stories)	40	800	\$750	\$0	Market	Yes	N/A	N/A	N/A	None
2	2	Garden (3 stories)	64	1,200	\$825	\$0	Market	Yes	N/A	N/A	N/A	None
3	2	Garden (3 stories)	36	1,470	\$975	\$0	Market	Yes	N/A	N/A	N/A	None

### Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$750	\$0	\$750	\$0	\$750
2BR / 2BA	\$825	\$0	\$825	\$0	\$825
3BR / 2BA	\$975	\$0	\$975	\$0	\$975

## Dalton Village Apartments, continued

### Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	None	None
Carpeting	Central A/C		
Dishwasher	Ceiling Fan		
Garbage Disposal	Oven		
Refrigerator	Walk-In Closet		
Washer/Dryer hookup			
Property		Premium	Other
Central Laundry	Off-Street Parking	None	S.S. appliances
On-Site Management	Playground		
Swimming Pool			

### Comments

The contact could not provide a breakdown of vacancies by unit type at the time of survey. However, the contact reported that the vacancies and waiting list are due to remaining renovations that are scheduled to be completed by the end of this year. The contact also reported that the property does not accept Housing Choice Vouchers.

## Dalton Village Apartments, continued

### Trend Report

#### Vacancy Rates

2Q13	4Q17	2Q18	4Q18
10.7%	20.0%	10.7%	13.6%

### Trend: Market

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2013	2	10.0%	\$475	\$17	\$458	\$458
2017	4	N/A	\$700	\$0	\$700	\$700
2018	2	N/A	\$700	\$0	\$700	\$700
2018	4	N/A	\$750	\$0	\$750	\$750

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2013	2	12.5%	\$505	\$17	\$488	\$488
2017	4	N/A	\$800	\$0	\$800	\$800
2018	2	N/A	\$800	\$0	\$800	\$800
2018	4	N/A	\$825	\$0	\$825	\$825

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2013	2	8.3%	\$670	\$17	\$653	\$653
2017	4	N/A	\$900	\$0	\$900	\$900
2018	2	N/A	\$900	\$0	\$900	\$900
2018	4	N/A	\$975	\$0	\$975	\$975

### Trend: Comments

2Q13 N/A

4Q17 The property was FKA as Chalet Valley and has been under new ownership since March of 2017. The property started renovations shortly after the sale which includes new flooring, new cabinetry, new counters, and new appliances. Bathrooms are getting new vanities, tubs, sinks, toilets, and counters. The contact stated the all units are expected to be renovated which will continue into 2018. Prices listed are for upgraded units while units without renovations are leasing for \$100 less. The contact noted the high vacancy is due to the ongoing renovations.

2Q18 N/A

4Q18 The contact could not provide a breakdown of vacancies by unit type at the time of survey. However, the contact reported that the vacancies and waiting list are due to remaining renovations that are scheduled to be completed by the end of this year. The contact also reported that the property does not accept Housing Choice Vouchers.

Photos



# PROPERTY PROFILE REPORT

## Emeralds Apartments

Effective Rent Date	10/09/2018
Location	113 N. Tibbs Road Dalton, GA 30720 Whitfield County
Distance	4.2 miles
Units	44
Vacant Units	2
Vacancy Rate	4.5%
Type	Garden (2 stories)
Year Built/Renovated	1967 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None Identified
Tenant Characteristics	Mixed tenancy
Contact Name	Stephanie
Phone	706-278-5071



### Market Information

Program	Market
Annual Turnover Rate	25%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within a week
Annual Chg. in Rent	None
Concession	None
Waiting List	None

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (2 stories)	4	900	\$600	\$0	Market	No	0	0.0%	N/A	None
2	2	Garden (2 stories)	30	1,180	\$775	\$0	Market	No	2	6.7%	N/A	None
3	2	Garden (2 stories)	10	1,300	\$895	\$0	Market	No	0	0.0%	N/A	None

### Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$600	\$0	\$600	\$0	\$600
2BR / 2BA	\$775	\$0	\$775	\$0	\$775
3BR / 2BA	\$895	\$0	\$895	\$0	\$895

## Emeralds Apartments, continued

### Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	None	None
Carpeting	Central A/C		
Dishwasher	Garbage Disposal		
Oven	Refrigerator		
Walk-In Closet	Washer/Dryer hookup		
Property		Premium	Other
Central Laundry	Off-Street Parking	None	None
On-Site Management	Swimming Pool		

### Comments

Rents shown in the profile are for units that offer washer/dryer hookups; units that do not offer washer/dryer hookups rent for \$25 less per month. The contact reported that the property does not accept Housing Choice Vouchers.



## Emeralds Apartments, continued

### Trend Report

#### Vacancy Rates

4Q17	2Q18	4Q18
2.5%	0.0%	4.5%

### Trend: Market

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	4	0.0%	\$600	\$0	\$600	\$600

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$775	\$0	\$775	\$775
2018	2	0.0%	\$775	\$0	\$775	\$775
2018	4	6.7%	\$775	\$0	\$775	\$775

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$825	\$0	\$825	\$825
2018	2	0.0%	\$825	\$0	\$825	\$825
2018	4	0.0%	\$895	\$0	\$895	\$895

### Trend: Comments

4Q17	Units with washer and dryer hook ups are illustrated and units without them are \$25 less per month.
2Q18	The contact reported the property typically stays fully occupied and units are quickly preleased upon notice to vacate. Units with washer and dryer hook ups are illustrated and units without them are \$25 less per month.
4Q18	Rents shown in the profile are for units that offer washer/dryer hookups; units that do not offer washer/dryer hookups rent for \$25 less per month. The contact reported that the property does not accept Housing Choice Vouchers.

Photos



# PROPERTY PROFILE REPORT

## Legacy Of Dalton Apartments

Effective Rent Date	9/27/2018
Location	2111 Club Drive Dalton, GA 30720 Whitfield County
Distance	3.8 miles
Units	158
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (2 stories)
Year Built/Renovated	1971 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None Identified
Tenant Characteristics	Mixed local tenancy including singles, couples and small families
Contact Name	Cindy
Phone	706.226.3012



### Market Information

Program	Market
Annual Turnover Rate	40%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within five days
Annual Chg. in Rent	Approx. 6% increase since 2Q2018
Concession	None
Waiting List	None

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (2 stories)	81	800	\$764	\$0	Market	No	0	0.0%	N/A	None
2	2	Garden (2 stories)	53	1,100	\$859	\$0	Market	No	0	0.0%	N/A	None
3	2	Garden (2 stories)	24	1,300	\$974	\$0	Market	No	0	0.0%	N/A	None

### Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$764	\$0	\$764	\$0	\$764
2BR / 2BA	\$859	\$0	\$859	\$0	\$859
3BR / 2BA	\$974	\$0	\$974	\$0	\$974

## Legacy Of Dalton Apartments, continued

### Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	Patrol	None
Carpeting	Central A/C		
Coat Closet	Dishwasher		
Exterior Storage	Ceiling Fan		
Garbage Disposal	Hand Rails		
Oven	Refrigerator		
Walk-In Closet	Washer/Dryer hookup		
Property		Premium	Other
Clubhouse/Meeting Room/Community	Exercise Facility	None	None
Off-Street Parking	On-Site Management		
Playground	Swimming Pool		
Tennis Court			

### Comments

The contact reported that the property no longer accepts Housing Choice Vouchers.

## Legacy Of Dalton Apartments, continued

### Trend Report

#### Vacancy Rates

2Q16	4Q17	2Q18	3Q18
0.6%	2.5%	3.8%	0.0%

### Trend: Market

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2016	2	0.0%	\$664	\$0	\$664	\$664
2017	4	2.5%	\$714	\$0	\$714	\$714
2018	2	3.7%	\$714	\$0	\$714	\$714
2018	3	0.0%	\$764	\$0	\$764	\$764

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2016	2	0.0%	\$769	\$0	\$769	\$769
2017	4	1.9%	\$814	\$0	\$814	\$814
2018	2	3.8%	\$819	\$0	\$819	\$819
2018	3	0.0%	\$859	\$0	\$859	\$859

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2016	2	4.2%	\$874	\$0	\$874	\$874
2017	4	4.2%	\$924	\$0	\$924	\$924
2018	2	4.2%	\$924	\$0	\$924	\$924
2018	3	0.0%	\$974	\$0	\$974	\$974

### Trend: Comments

2Q16	The one vacancy is pre-leased. The contact reported that the property is 100 percent pre-leased. The contact reported that the turnover rate has been high for the last three years; no specific explanation for this trend was reported. The contact could not provide an estimate of the percentage of tenants using Section 8 Housing Choice Vouchers.
4Q17	No major renovations were reported. The contact stated rents increased in the past year but was unsure of the amount. She could not provide an estimate of Housing Choice Vouchers currently in use at the property.
2Q18	No major renovations were reported. The contact could not provide an estimate of Housing Choice Vouchers currently in use at the property, although she said the number is minimal.
3Q18	The contact reported that the property no longer accepts Housing Choice Vouchers.

Photos



# PROPERTY PROFILE REPORT

## Mountain Woods Apartments

Effective Rent Date	10/03/2018
Location	1016 Ponderosa Lane Dalton, GA 30720 Whitfield County
Distance	3.1 miles
Units	100
Vacant Units	2
Vacancy Rate	2.0%
Type	Garden (2 stories)
Year Built/Renovated	1974 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	The Cliffs, Dawnville Meadows
Tenant Characteristics	Mixed tenancy
Contact Name	Regina
Phone	706-226-2718



### Market Information

Program	Market, Section 8
Annual Turnover Rate	20%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within one week
Annual Chg. in Rent	Inc. 10 to 14% since 3Q2017
Concession	None
Waiting List	Yes; six months in length

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (2 stories)	4	780	\$742	\$0	Market	Yes	1	25.0%	N/A	None
1	1	Garden (2 stories)	20	780	\$700	\$0	Section 8	Yes	0	0.0%	N/A	None
2	1	Garden (2 stories)	10	1,000	\$802	\$0	Market	Yes	0	0.0%	N/A	None
2	1	Garden (2 stories)	30	1,000	\$750	\$0	Section 8	Yes	0	0.0%	N/A	None
3	1	Garden (2 stories)	6	1,215	\$932	\$0	Market	Yes	1	16.7%	N/A	None
3	1	Garden (2 stories)	30	1,215	\$850	\$0	Section 8	Yes	0	0.0%	N/A	None

### Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	Section 8	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$742	\$0	\$742	\$0	\$742	1BR / 1BA	\$700	\$0	\$700	\$0	\$700
2BR / 1BA	\$802	\$0	\$802	\$0	\$802	2BR / 1BA	\$750	\$0	\$750	\$0	\$750
3BR / 1BA	\$932	\$0	\$932	\$0	\$932	3BR / 1BA	\$850	\$0	\$850	\$0	\$850

## Mountain Woods Apartments, continued

### Amenities

In-Unit		Security	Services
Blinds	Carpeting	None	None
Central A/C	Coat Closet		
Ceiling Fan	Microwave		
Oven	Refrigerator		
Washer/Dryer			
Property		Premium	Other
Clubhouse/Meeting Room/Community	Off-Street Parking	None	None
On-Site Management	Picnic Area		
Playground	Wi-Fi		

### Comments

The contact reported that both vacancies are pre-leased.



# Mountain Woods Apartments, continued

## Trend Report

### Vacancy Rates

4Q17	4Q18
N/A	2.0%

### Trend: Market

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$604	\$0	\$604	\$604
2018	4	25.0%	\$742	\$0	\$742	\$742

#### 2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$654	\$0	\$654	\$654
2018	4	0.0%	\$802	\$0	\$802	\$802

#### 3BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$691	\$0	\$691	\$691
2018	4	16.7%	\$932	\$0	\$932	\$932

### Trend: Section 8

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$615	\$0	\$615	\$615
2018	4	0.0%	\$700	\$0	\$700	\$700

#### 2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$666	\$0	\$666	\$666
2018	4	0.0%	\$750	\$0	\$750	\$750

#### 3BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$703	\$0	\$703	\$703
2018	4	0.0%	\$850	\$0	\$850	\$850

### Trend: Comments

4Q17 This property is an existing Section 8 and market rate, 100-unit family development to be renovated using LIHTC equity in 2019.

4Q18 The contact reported that both vacancies are pre-leased.

Photos



# PROPERTY PROFILE REPORT

## Stone Ridge Apartments

Effective Rent Date	10/05/2018
Location	1104 Walston Street Dalton, GA 30720 Whitfield County
Distance	3.4 miles
Units	100
Vacant Units	2
Vacancy Rate	2.0%
Type	Various (2 stories)
Year Built/Renovated	1973 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None Identified
Tenant Characteristics	Mixed tenancy
Contact Name	Sharla
Phone	706-275-0957



### Market Information

Program	Market
Annual Turnover Rate	12%
Units/Month Absorbed	N/A
HCV Tenants	3%
Leasing Pace	Within one week
Annual Chg. in Rent	Increased 3% since 2Q2017
Concession	None
Waiting List	None

### Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	included -- gas
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

### Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden	28	800	\$645	\$0	Market	No	0	0.0%	N/A	None
2	2	Garden	24	1,251	\$715	\$0	Market	No	0	0.0%	N/A	None
2	2	Townhouse (2 stories)	24	1,200	\$750	\$0	Market	No	2	8.3%	N/A	None
3	2	Garden	24	1,360	\$800	\$0	Market	No	0	0.0%	N/A	None

### Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$645	\$0	\$645	-\$17	\$628
2BR / 2BA	\$715 - \$750	\$0	\$715 - \$750	-\$20	\$695 - \$730
3BR / 2BA	\$800	\$0	\$800	-\$26	\$774

## Stone Ridge Apartments, continued

### Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	None	None
Carpeting	Central A/C		
Dishwasher	Oven		
Refrigerator	Washer/Dryer hookup		
Property		Premium	Other
Central Laundry	Off-Street Parking	None	None
Picnic Area	Playground		
Swimming Pool	Tennis Court		

### Comments

The contact noted that Housing Choice Vouchers are no longer being accepted for new applicants, however, there are currently three tenants still using Housing Choice Vouchers.

## Stone Ridge Apartments, continued

### Trend Report

#### Vacancy Rates

4Q17	2Q18	4Q18
3.0%	0.0%	2.0%

### Trend: Market

#### 1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$625	\$0	\$625	\$608
2018	2	N/A	\$675	\$0	\$675	\$658
2018	4	0.0%	\$645	\$0	\$645	\$628

#### 2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$700	\$0	\$700	\$680
2018	2	N/A	\$700	\$0	\$700	\$680
2018	4	4.2%	\$715 - \$750	\$0	\$715 - \$750	\$695 - \$730

#### 3BR / 1.5BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$800	\$0	\$800	\$774

#### 3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	2	N/A	\$800	\$0	\$800	\$774
2018	4	0.0%	\$800	\$0	\$800	\$774

### Trend: Comments

4Q17	The contact provided limited information. Housing Choice Vouchers are accepted but the number currently in use was not provided.
2Q18	N/A
4Q18	The contact noted that Housing Choice Vouchers are no longer being accepted for new applicants, however, there are currently three tenants still using Housing Choice Vouchers.

Photos



**2. The following information is provided as required by DCA:**

**Housing Choice Vouchers**

We were unable to reach a representative of the Georgia Department of Community Affairs, despite multiple attempts. According to the DCA's website, the application process for Housing Choice Vouchers is currently closed, and was last accepting applications from February 1, 2016 to February 7, 2016. The following table illustrates voucher usage at the comparable properties.

TENANTS WITH VOUCHERS			
Property Name	Rent Structure	Tenancy	Housing Choice Voucher Tenants
Autumn Ridge	LIHTC/ Market	Family	2%
Bedford Place*	LIHTC/ Market	Family	6%
Eastgate Apartments*	LIHTC, HOME	Family	2%
Fieldstone Apartments*	LIHTC	Family	9%
Summer Breeze Park *	LIHTC	Family	3%
Dalton Beach Club	Market	Family	0%
Dalton Village Apartments	Market	Family	0%
Emeralds Apartments	Market	Family	0%
Legacy Of Dalton Apartments*	Market	Family	0%
Mountain Woods Apartments	Section 8/ Market	Family	0%
Stone Ridge Apartments	Market	Family	3%

\*Located outside the PMA

Housing Choice Voucher usage in this market ranges from zero to nine percent. The LIHTC properties surveyed report a low reliance on tenants with vouchers. The Subject is a LIHTC/market rate multifamily property that will continue to operate with LIHTC restrictions post-renovation. Therefore, tenant-based vouchers will be accepted at the Subject post-renovation. According to the rent roll dated September 28, 2018, none of the Subject's tenants are currently utilizing housing choice vouchers. We believe the Subject would maintain a voucher usage of approximately five percent following renovations.

**Lease Up History**

At the time of this report, no new multifamily properties were found to be in development within the PMA in the last three years. As such, none of the comparable properties were able to provide absorption data. As such, we have expanded our search to include properties located in Chattanooga and Cleveland, Tennessee, which are both located approximately 24.0 miles north of the Subject. Our findings are detailed in the following table.

ABSORPTION						
Property name	Type	City	Tenancy	Year Built	Number of Units	Units Absorbed / Month
The Edison At Gordon Square	Market	Cleveland, TN	Family	2017	307	73
The Flats At East Bank	Market	Cleveland, TN	Family	2015	241	16
Bridgeway Apartments	Market	Chattanooga, TN	Family	2014	250	23
Forest Cove Apartments	Market	Chattanooga, TN	Family	2014	120	10
Springs At Chattanooga	Market	Chattanooga, TN	Family	2014	<u>260</u>	<u>19</u>
<b>Average</b>					<b>236</b>	<b>28</b>

Per DCA guidelines, we calculate the absorption to 93 percent occupancy. The Subject is the proposed renovation of an existing LIHTC/market rate property. Historically, the Subject has operated at 96 to 97 percent occupancy. However, the Subject is 93.3 percent occupied due to units being held vacant in

anticipation of renovations as tenants vacate those units. Renovations are scheduled to begin in May 2019 and be completed in February 2020. With the healthy LIHTC vacancy rate and waiting lists at the LIHTC comparable properties, we believe that the Subject’s units, if the Subject were hypothetically 100 percent vacant, could reasonably expect to lease 20 units per month. At this rate, the Subject would reach a stabilized occupancy of 93 percent within five to six months. Based on information provided by the client, the Subject will only need to fill 30 units as many of the current tenants are expected to continue to income-qualify to reside at the property post-renovation. It should be noted that a tenant income audit was unavailable as of the date of this report, and we have assumed that only the tenants currently residing in the 60 percent AMI units will continue to income-qualify post-renovation. Assuming that the Subject only needs to fill 30 units, the Subject would reach a stabilized occupancy of 93 percent within one to two months.

**Phased Developments**

The Subject is not part of a multi-phase development.

**Rural Areas**

The Subject is not located in a rural area.

**3. Competitive Project Map**

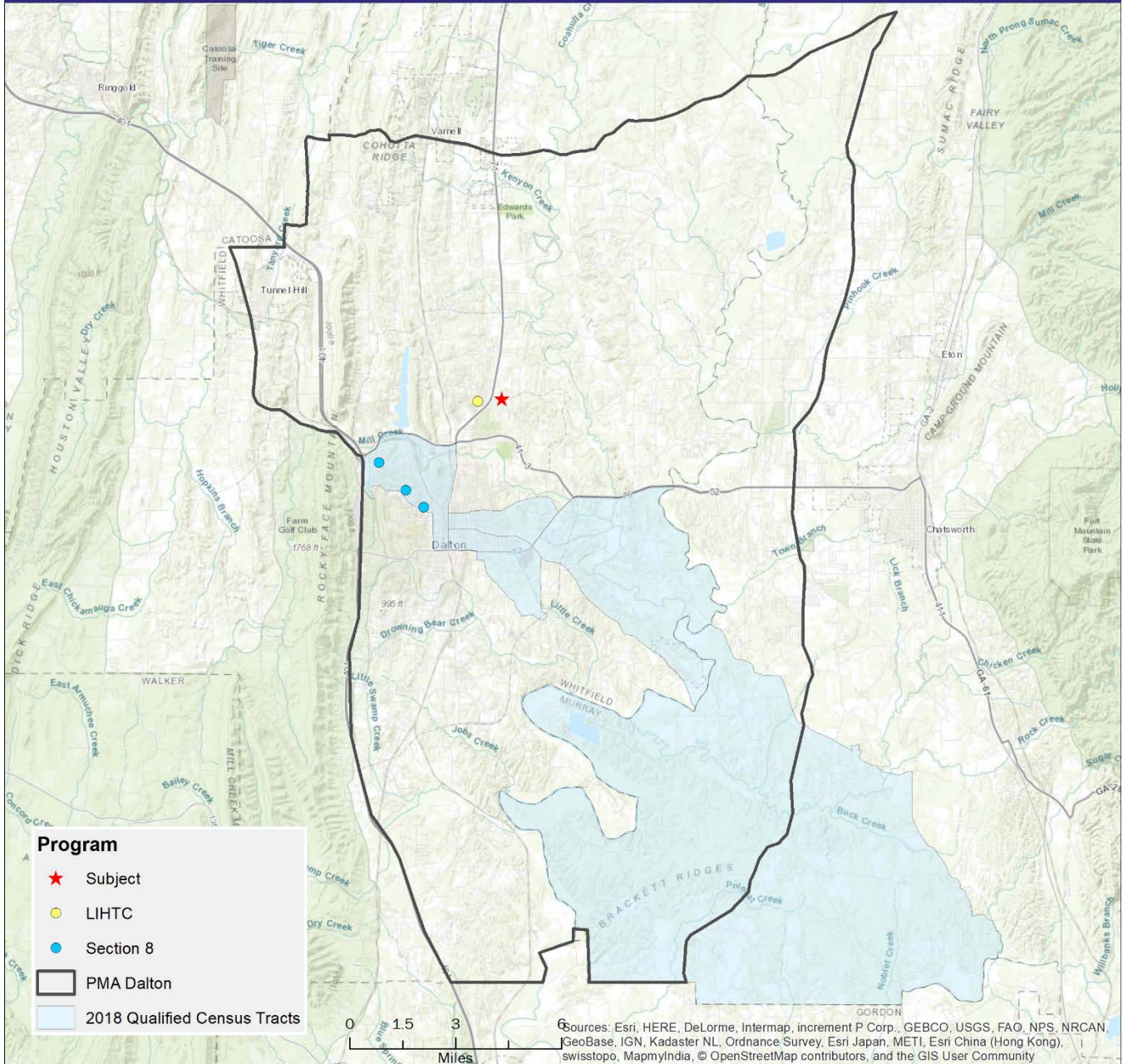
**COMPETITIVE PROPERTIES**

Property Name	Program	Location	Tenancy	# of Units	Distance from Subject	Map Color
Dawnville Meadows (Subject)	LIHTC	Dalton	Family	120	-	Star
Autumn Ridge*	LIHTC	Dalton	Family	130	0.5 miles	Yellow
Mountain Woods*	Market/Section 8	Dalton	Family	100	3.0 miles	Blue
Whitfield Commons	Section 8	Dalton	Senior	40	3.1 miles	Blue
Whitfield Place	Section 8	Dalton	Senior	48	2.3 miles	Blue

\*Utilized as a comparable



### Affordable Properties in the PMA



4. Amenities

A detailed description of amenities included in both the Subject and the comparable properties can be found in the amenity matrix below.

AMENITY MATRIX												
	Subject	Autumn Ridge	Bedford Place	Eastgate Apartments	Fieldstone Apartments	Summer Breeze Park	Dalton Beach Club	Dalton Village Apartments	Emeralds Apartments	Legacy Of Dalton Apartments	Mountain Woods Apartments	Stone Ridge Apartments
Rent Structure	LIHTC	LIHTC/Market	LIHTC/Market	LIHTC, HOME	LIHTC	LIHTC	Market	Market	Market	Market	Section 8/Market	Market
<b>Building</b>												
Property Type	Garden	Garden	Lowrise	Garden	Various	Garden	Townhouse	Garden	Garden	Garden	Garden	Various
# of Stories	2-stories	2-stories	2-stories	2-stories	2-stories	3-stories	2-stories	3-stories	1-stories	1-stories	2-stories	1-stories
Year Built	2000	2004	2004	2001	1999	2016	1985	1982	1967	1971	1974	1973
Year Renovated	2020	n/a	n/a	n/a	n/a	n/a	Ongoing	Ongoing	n/a	n/a	n/a	n/a
Courtyard	yes	no	no	no	no	no	no	no	no	no	no	no
<b>Utility Structure</b>												
Cooking	no	no	no	no	no	no	no	no	no	no	no	no
Water Heat	no	no	no	no	no	no	no	no	no	no	no	no
Heat	no	no	no	no	no	no	no	no	no	no	no	yes
Other Electric	no	no	no	no	no	no	no	no	no	no	no	no
Water	yes	no	no	yes	no	no	no	yes	yes	yes	yes	yes
Sewer	yes	no	no	yes	no	no	no	yes	yes	yes	yes	yes
Trash	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
<b>Unit Amenities</b>												
Balcony/Patio	yes	yes	yes	no	yes	yes	yes	yes	yes	yes	no	yes
Blinds	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Carpeting	yes	yes	no	yes	yes	yes	yes	yes	yes	yes	yes	yes
Hardwood	yes	no	yes	no	no	no	no	no	no	no	no	no
Central A/C	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Ceiling Fan	yes	yes	no	no	no	yes	yes	yes	no	yes	yes	no
Coat Closet	yes	no	yes	no	yes	yes	no	no	no	yes	yes	no
Exterior Storage	yes	no	no	yes	yes	yes	no	no	no	yes	no	no
Fireplace	no	no	no	no	no	no	yes	no	no	no	no	no
Walk-In Closet	yes	yes	no	no	no	no	yes	yes	yes	yes	no	no
Washer/Dryer	no	no	no	no	no	no	no	no	no	no	yes	no
W/D Hookup	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
<b>Kitchen</b>												
Dishwasher	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	no	yes
Disposal	yes	yes	yes	yes	yes	yes	no	yes	yes	yes	no	no
Microwave	no	no	no	no	no	yes	no	no	no	no	yes	no
Oven	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Refrigerator	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
<b>Community</b>												
Business Center	yes	no	yes	no	yes	yes	no	no	no	no	no	no
Community Room	no	yes	no	yes	yes	yes	no	no	no	yes	yes	no
Central Laundry	yes	yes	yes	yes	yes	yes	no	yes	yes	no	no	yes
On-Site Mgmt	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	no
<b>Recreation</b>												
Basketball Court	no	yes	yes	yes	no	no	no	no	no	no	no	no
Exercise Facility	yes	yes	yes	no	no	no	no	no	no	yes	no	no
Playground	yes	yes	no	yes	yes	yes	yes	yes	no	yes	yes	yes
Swimming Pool	yes	yes	no	no	no	no	yes	yes	yes	yes	no	yes
Picnic Area	yes	no	yes	yes	yes	yes	no	no	no	no	yes	yes
Tennis Court	no	no	no	no	no	no	yes	no	no	yes	no	yes
Recreational Area	yes	no	no	no	no	no	no	no	no	no	no	no
Volleyball Court	yes	no	no	no	no	no	no	no	no	no	no	no
WiFi	no	no	no	no	no	no	no	no	no	no	yes	no
Adult Education	no	no	no	no	no	yes	no	no	no	no	no	no
<b>Security</b>												
Intercom (Buzzer)	no	no	yes	no	no	no	no	no	no	no	no	no
Limited Access	no	no	yes	no	no	no	no	no	no	no	no	no
Patrol	no	yes	no	no	no	no	no	no	no	yes	no	no
Perimeter Fencing	yes	no	no	no	no	no	no	no	no	no	no	no
<b>Parking</b>												
Carport Fee	0	0	0	0	0	0	0	0	0	0	0	0
Garage Fee	0	0	0	0	0	0	0	0	0	0	0	0
Off-Street Parking	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes

The renovated Subject will offer slightly superior to superior in-unit amenities in comparison to the LIHTC and market rate comparable properties and similar to slightly superior property amenities. Notable unit amenities offered by Subject include balconies/patios, hardwood flooring, central air conditioning, exterior storage, walk-in closets, washer dryer hookups, dishwashers, and disposals. The majority of the comparable properties lack features such as hardwood flooring, exterior storage, walk-in closets, disposals, and balconies/patios, all of which are included in the Subject's proposed amenity scheme. The amenity package offered by Legacy Of Dalton Apartments is considered similar to the Subject. Overall, we believe the Subject's unit amenities will be competitive in the market. Notable property amenities offered by Subject include a business center, on-site management, a fitness center, a playground, a swimming pool,

recreational areas, and volleyball court. The majority of the surveyed comparables offer similar to slightly inferior property amenities relative to the Subject. The majority of the comparable properties lack features such as recreational areas, volleyball court, a business center, a fitness center, a swimming pool, and a playground, all of which are included in the Subject's proposed amenity scheme. Overall, we believe the Subject's property amenities will be competitive in the market.

### 5. Comparable Tenancy

The Subject will continue to target families. All of the comparable properties also target families.

### 6. Vacancy

The following table illustrates the vacancy rates in the market.

OVERALL VACANCY						
Property Name	Rent Structure	Tenancy	Total Units	Vacant Units	Vacancy Rate	
Autumn Ridge	LIHTC/ Market	Family	130	0	0.0%	
Bedford Place*	LIHTC/ Market	Family	88	0	0.0%	
Eastgate Apartments*	LIHTC, HOME	Family	56	0	0.0%	
Fieldstone Apartments*	LIHTC	Family	56	2	3.6%	
Summer Breeze Park *	LIHTC	Family	72	0	0.0%	
Dalton Beach Club	Market	Family	155	4	2.6%	
Dalton Village Apartments	Market	Family	140	19	13.6%	
Emeralds Apartments	Market	Family	44	2	4.5%	
Legacy Of Dalton Apartments	Market	Family	158	0	0.0%	
Mountain Woods Apartments	Section 8/ Market	Family	100	2	2.0%	
Stone Ridge Apartments	Market	Family	100	2	2.0%	
<b>Total LIHTC</b>			<b>502</b>	<b>4</b>	<b>0.8%</b>	
<b>Total Market Rate</b>			<b>597</b>	<b>27</b>	<b>4.5%</b>	
<b>Overall Total</b>			<b>1,099</b>	<b>31</b>	<b>2.8%</b>	

\*Located outside the PMA

Overall vacancy in the market is very low at 2.8 percent. The LIHTC and mixed-income comparables demonstrate an average vacancy of 0.8 percent, and four of the five properties are fully occupied. Further, all five of the LIHTC comparables maintain waiting lists, ranging from 20 to 100 households in length. The low vacancy rates and presence of waiting lists among the LIHTC and mixed-income comparables indicates strong demand for affordable housing in the area.

The vacancy rates among the market rate comparable properties range from zero to 13.6 percent, averaging 4.5 percent, which is considered very low. It is important to note that the vacancy rate of Dalton Village Apartments is well above those of the other comparables. The contact reported that the high vacancies are due to renovations that are currently ongoing, and many of the unavailable units are pre-leased. The low vacancy rates among the other market rate comparables indicates strong demand for conventional housing in the area. Historically, the Subject has operated at 96 to 97 percent occupancy. The Subject is 93.3 percent occupied as units are being held vacant in anticipation of renovations as tenants vacate those units. As a newly renovated property, we anticipate that the Subject would perform with a vacancy rate of five percent or less. Based on the low vacancy rates among the LIHTC and market rate comparables, as well as the presence of waiting lists among the LIHTC comparables, we believe that there is sufficient demand for additional affordable housing in the market. We do not believe that the Subject will impact the performance of the existing LIHTC properties if allocated.

**7. Properties Under Construction and Proposed**

There are currently no new, planned, or under construction multifamily developments within the PMA.

**8. Rental Advantage**

The following table illustrates the Subject’s similarity to the comparable properties. We inform the reader that other users of this document may underwrite the LIHTC rents to a different standard than contained in this report.

**SIMILARITY MATRIX**

#	Property Name	Program	Tenancy	Property Amenities	Unit Features	Location	Age / Condition	Unit Sizes	Overall Comparison
1	Autumn Ridge	LIHTC/ Market	Family	Slightly Inferior	Slightly Inferior	Slightly Inferior	Slightly Superior	Slightly Superior	-5
2	Bedford Place	LIHTC/ Market	Family	Inferior	Slightly Inferior	Superior	Slightly Superior	Similar	0
3	Eastgate Apartments	LIHTC, HOME	Family	Inferior	Inferior	Similar	Similar	Inferior	-30
4	Fieldstone Apartments	LIHTC	Family	Inferior	Slightly Inferior	Similar	Similar	Slightly Inferior	-20
5	Summer Breeze Park	LIHTC	Family	Inferior	Slightly Inferior	Superior	Superior	Similar	5
6	Dalton Beach Club	Market	Family	Inferior	Slightly Inferior	Slightly Inferior	Similar	Slightly Superior	-15
7	Dalton Village Apartments	Market	Family	Inferior	Slightly Inferior	Similar	Slightly Inferior	Slightly Superior	-15
8	Emeralds Apartments	Market	Family	Inferior	Slightly Inferior	Superior	Inferior	Slightly Superior	-10
9	Legacy Of Dalton	Market	Family	Inferior	Similar	Slightly Superior	Inferior	Slightly Superior	-10
10	Mountain Woods	Section 8/ Market	Family	Inferior	Inferior	Inferior	Inferior	Similar	-40
11	Stone Ridge Apartments	Market	Family	Inferior	Inferior	Inferior	Inferior	Slightly Superior	-35

\*Inferior=-10, slightly inferior=-5, similar=0, slightly superior=5, superior=10.

The rental rates at the LIHTC properties are compared to the Subject’s proposed 60 percent AMI rents in the following table.

**LIHTC RENT COMPARISON @60%**

Property Name	County	2BR	3BR
<b>Dawnville Meadows - As Renovated</b>	<b>Whitfield</b>	<b>\$652</b>	<b>\$743</b>
LIHTC Maximum Rent (Net)	Whitfield	\$652	\$743
LIHTC Maximum Rent (Net)	Catoosa	\$757	\$865
LIHTC Maximum Rent (Net)	Gordon	\$584	\$665
LIHTC Maximum Rent (Net)	Murray	\$584	\$665
Autumn Ridge	Whitfield	\$665	\$749
Bedford Place*	Catoosa	\$601	\$678
Eastgate Apartments*	Gordon	\$494	\$540
Fieldstone Apartments*	Murray	\$453	\$495
Summer Breeze Park*	Catoosa	\$531	\$598
<b>Average</b>		<b>\$549</b>	<b>\$612</b>
<b>Achievable LIHTC Rent</b>		<b>\$652</b>	<b>\$743</b>

\*Located outside the PMA

It should be noted that some properties offer differing utility structures; as such, rents may appear to be above or below the maximum allowable levels. None of the comparable properties reported achieving rents at the maximum allowable levels for the units restricted at the 60 percent AMI level. However, the property

managers at Autumn Ridge, Eastgate Apartments, and Summer Breeze Park all reported that they believed their respective properties could achieve maximum allowable levels. Additionally, it appears that the rents for the units restricted at the 60 percent AMI level at Fieldstone Apartments and Summer Breeze Park are in line with the rents of the units restricted at the 50 percent AMI level. The property manager at Eastgate Apartments reported that the property has elected to not raise rents to the maximum allowable levels, given that many of the tenants at the property are long-term tenants. Overall, the Subject is considered most similar to Autumn Ridge.

Autumn Ridge is located approximately 0.6 miles west of the Subject in Dalton and offers a similar location relative to the Subject. This property was constructed in 2004 and exhibits good condition, similar to the Subject upon completion of the renovations. The property is currently 100 percent occupied and maintains a waiting list of approximately 24 households. This property offers inferior in-unit amenities relative to the Subject and slightly inferior common area amenities relative to the Subject. Autumn Ridge offers slightly larger unit sizes relative to the Subject. Overall, Autumn Ridge is considered similar to slightly inferior to the Subject.

Overall, we believe the Subject can achieve rents similar to those currently achieved at Autumn Ridge. The Subject’s proposed rents are just below those currently achieved at Autumn Ridge. Given the low vacancy rates among the LIHTC comparables and the presence of waiting lists in the market, we believe that the Subject’s proposed rents at the maximum allowable levels are reasonable and achievable.

**Analysis of “Market Rents”**

Per DCA’s market study guidelines, “average market rent is to be a reflection of rents that are achieved in the market. In other words, the rents the competitive properties are currently receiving. Average market rent is not ‘Achievable unrestricted market rent.’” In an urban market with many tax credit comps, the average market rent might be the weighted average of those tax credit comps. In cases where there are few tax credit comps, but many market rate comps with similar unit designs and amenity packages, then the average market rent might be the weighted average of those market rate comps. In a small rural market there may be neither tax credit comps nor market rate comps with similar positioning as the subject. In a case like that the average market rent would be a weighted average of whatever rents were present in the market.

When comparing the Subject’s rents to the average comparable rent, we do not include surveyed rents at lower AMI levels given that this artificially lowers the average surveyed rent. Including rents at lower AMI levels does not reflect an accurate average rent for rents at higher income levels. For example, if the Subject offers rents at the 50 and 60 percent of AMI levels, and there is a distinct difference at comparable properties between rents at the two AMI levels, we do not include the 50 percent of AMI rents in the average comparable rent for the 60 percent of AMI comparison.

The overall average and the maximum and minimum adjusted rents for the comparable properties surveyed are illustrated in the table below in comparison with net rents for the Subject. It should be noted that the properties located outside of Whitfield County have been excluded from the following analysis, given that the rents at these properties are substantially below those of the properties located in Whitfield County.

**SUBJECT COMPARISON TO MARKET RENTS**

Unit Type	Subject Proposed Rent	Surveyed Min	Surveyed Max	Surveyed Average	Subject Rent Differential
2BR @60%	\$652	\$665	\$901	\$814	-20%
3BR @60%	\$743	\$749	\$978	\$897	-17%

As illustrated, the Subject’s proposed rents are well below the surveyed average when compared to the comparables, both LIHTC and market rate. The Subject’s proposed rents are below the surveyed range of comparable LIHTC and market rents. The Subject’s proposed two and three-bedroom rents are approximately 20 and 17 percent below the comparable average two and three-bedroom rents, respectively.

Autumn Ridge, a LIHTC/market rate development, is achieving the second highest two and highest three-bedroom market rate rents of all the comparables. The property is located approximately 0.6 miles west of the Subject in Dalton and offers a similar location relative to the Subject. This property was constructed in 2004 and exhibits good condition, similar to the Subject upon completion of the renovations. The property is currently 100 percent occupied and maintains a waiting list of approximately 24 households. This property offers inferior in-unit amenities relative to the Subject and slightly inferior common area amenities relative to the Subject. Autumn Ridge does not offer hardwood flooring or exterior storage, both of which will be offered at the Subject. Additionally, Autumn Ridge does not offer a picnic area, recreational areas, a volleyball court, or a business center, all of which will be offered at the Subject post-renovation. Autumn Ridge offers slightly larger unit sizes relative to the Subject.

**9. LIHTC Competition – DCA Funded Properties within the PMA**

The Subject is an existing affordable and market rate property that operates with 50 and 60 percent restrictions on select affordable units. Post-renovation, the Subject will offer neither market rate units nor affordable rate units at the 50 percent restriction level. Instead, the Subject will offer all units at the 60 percent restriction level. Capture rates for the Subject are considered low. If allocated, the Subject will be similar to superior to the existing LIHTC housing stock. The average LIHTC vacancy rate is low at 2.6 percent.

There have been no tax credit allocations within the PMA within the last three years. In our research, we found there to be no new, planned, or under construction affordable rate properties within the PMA.

**10. Rental Trends in the PMA**

The table below depicts household growth by tenure from 2000 through 2022.

Year	Owner-Occupied Units		Renter-Occupied Units	
	Number	Percentage	Number	Percentage
2000	18,548	67.2%	9,071	32.8%
2010	20,932	64.6%	11,449	35.4%
2017	20,192	61.0%	12,920	39.0%
Projected Mkt Entry February 2020	20,374	61.0%	13,009	39.0%
2022	20,544	61.1%	13,093	38.9%

Source: Esri Demographics 2017, Novogradac & Company LLP, October 2018

The share of renter-occupied housing in the PMA increased between 2000 and 2017. Through the projected market entry date and 2022, the percentage of renter-occupied households is projected to remain constant. However, the number of renter households in the Subject’s PMA is projected to increase through projected market entry and 2022. As of 2017, the share of owner-occupied households nationally was approximately two-thirds according to the US Census Bureau, indicating that the share of renter-occupied households in the PMA is greater than in the nation.

**Historical Vacancy**

The following table details historical vacancy levels for the properties included as comparables.

CHANGE IN VACANCY RATES												
Comparable Property	Type	Total Units	1QTR 2013	2QTR 2013	1QTR 2014	2QTR 2014	2QTR 2015	2QTR 2016	4QTR 2017	2QTR 2018	3QTR 2018	4QTR 2018
Autumn Ridge	Garden	130	N/A	0.0%	N/A	6.2%	0.0%	1.5%	N/A	N/A	0.0%	N/A
Bedford Place*	Lowrise	88	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	0.0%
Eastgate Apartments*	Garden	56	N/A	0.0%	N/A	N/A	N/A	N/A	N/A	N/A	N/A	0.0%
Fieldstone Apartments*	Various	56	N/A	N/A	N/A	12.5%	5.4%	3.6%	N/A	N/A	3.6%	N/A
Summer Breeze Park*	Garden	72	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	0.0%	N/A
Dalton Beach Club	Townhouse	155	N/A	N/A	0.6%	N/A	0.6%	N/A	0.0%	0.6%	N/A	2.6%
Dalton Village Apartments	Garden	140	10.7%	10.7%	N/A	N/A	N/A	N/A	20.0%	10.7%	N/A	13.6%
Emeralds Apartments	Garden	44	N/A	N/A	N/A	N/A	N/A	N/A	2.5%	0.0%	N/A	4.5%
Legacy Of Dalton Apartments*	Garden	158	1.3%	N/A	1.9%	1.9%	1.9%	0.6%	2.5%	3.8%	0.0%	N/A
Mountain Woods Apartments	Garden	100	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	2.0%
Stone Ridge Apartments	Various	100	N/A	N/A	N/A	N/A	N/A	N/A	3.0%	0.0%	N/A	2.0%
		1,099	6.0%	3.6%	1.3%	6.9%	2.0%	1.9%	5.6%	3.0%	0.9%	3.5%

\*Located outside the PMA

As illustrated in the table, we were able to obtain historical vacancy rates at several of the comparable properties for several quarters in the past five years. In general, vacancy rates at the comparable properties have decreased slightly since 2014. Overall, we believe that the current performance of the LIHTC comparable properties, as well as their historically low to moderate vacancy rates, indicate demand for affordable rental housing in the Subject’s market.

**Change in Rental Rates**

The following table illustrates rental rate increases as reported by the comparable properties.

RENT GROWTH			
Property Name	Rent Structure	Tenancy	Rent Growth
Autumn Ridge	LIHTC/ Market	Family	Increase 5% since May 2016
Bedford Place*	LIHTC/ Market	Family	None
Eastgate Apartments*	LIHTC, HOME	Family	None
Fieldstone Apartments*	LIHTC	Family	Approx. 4% increase since 2Q2016
Summer Breeze Park*	LIHTC	Family	None reported
Dalton Beach Club	Market	Family	Increased 20% since 1Q2018
Dalton Village Apartments	Market	Family	None
Emeralds Apartments	Market	Family	None
Legacy Of Dalton Apartments*	Market	Family	Approx. 6% increase since 2Q2018
Mountain Woods Apartments	Section 8/ Market	Family	Inc. 10 to 14% since 3Q2017
Stone Ridge Apartments	Market	Family	Increased 3% since 2Q2017

\*Located outside the PMA

The LIHTC properties report growth of zero to five percent in the past two years. The market rate properties generally reported rent growth of zero to 20 percent. We anticipate that the Subject would be able to achieve moderate rent growth in the future as a LIHTC property.

**11. Impact of Foreclosed, Abandoned and Vacant Structures**

According to RealtyTrac statistics, one in every 2,402 housing units nationwide was in some stage of foreclosure as of September 2018. Whitfield County is experiencing a foreclosure rate of one in every 1,242 homes, while Georgia experienced one foreclosure in every 2,504 housing units. Overall, Whitfield County is

experiencing a higher foreclosure rate to the nation and state of Georgia, indicating a slightly weaker housing market. However, the Subject's neighborhood does not have a significant amount of abandoned or vacant single-family homes that would impact the marketability of the Subject.

## **12. Primary Housing Void**

The Subject is an existing property that currently exhibits average condition. The Subject is 93.3 percent occupied due to units being held vacant in anticipation of renovations as tenants vacate those units. However, the Subject has historically operated at 96 to 97 percent occupancy and currently maintains a waiting list of undetermined in length, which indicates demand for the Subject's units. Therefore, the renovation of the Subject will help the preservation of existing units for which there is ample demand. The LIHTC and mixed-income comparables demonstrate an average vacancy of 0.8 percent, and four of the five properties are fully-occupied. Further, all of the LIHTC comparables maintain waiting lists, ranging from 19 households to six months in length. The low vacancy rates and presence of waiting lists among the LIHTC and mixed-income comparables indicates strong demand for affordable housing in the area. Based on the historical performance of the Subject and the current performance of the comparable properties, we believe that the Subject will continue to fill a void in the market by providing affordable units restricted to households earning 60 percent of the AMI or less.

## **13. Effect of Subject on Other Affordable Units in Market**

We are unaware of any LIHTC developments located in the PMA that have been allocated tax credits within the last three years. Given the performance of the comparable LIHTC properties and the Subject, we believe there is ample demand for the Subject in the market. Historically, the Subject has operated at 96 to 97 percent occupancy. The Subject is 93.3 percent occupied due to units being held vacant in anticipation of renovations as tenants vacate those units. We do not believe that the renovation of the Subject will impact the existing LIHTC properties that are in overall average condition and currently performing well. In summary, the performance of the comparable LIHTC properties, the existence of waiting lists for affordable units, and the fact that the Subject will not add new units to the market all indicate that the Subject will not negatively impact the existing or proposed affordable rental units in the market.

## **Conclusions**

Based upon our market research, demographic calculations and analysis, we believe there is adequate demand for the Subject property as proposed. The LIHTC comparables are experiencing a weighted average vacancy rate of 0.8 percent, which is considered very low. Historically, the Subject has operated at 96 to 97 percent occupancy. However, the Subject is currently 93.3 percent occupied due to units being held vacant in anticipation of renovations as tenants vacate those units. The majority of the comparable properties are generally older and exhibit average condition. The Subject will undergo an extensive renovation. The only potential weaknesses of the Subject are the slightly inferior unit sizes in relation to the comparables. Upon completion, the Subject will offer slightly superior to superior in-unit amenities in comparison to the LIHTC and market rate comparable properties and similar to slightly superior property amenities. Many comparables lack hardwood flooring, exterior storage, walk-in closets, garbage disposals, and patios/balconies, all of which will be offered at the Subject. Based on the Subject's current performance, we believe that the renovated Subject is feasible as proposed. We believe that it will fill a void in the market and will perform well.



# **I. ABSORPTION AND STABILIZATION RATES**

**ABSORPTION AND STABILIZATION RATES**

At the time of this report, no new multifamily properties were found to be in development within the PMA in the last three years. As such, none of the comparable properties were able to provide absorption data. As such, we have expanded our search to include properties located in Chattanooga and Cleveland, Tennessee, which are both located approximately 24.0 miles north of the Subject. Our findings are detailed in the following table.

**ABSORPTION**

Property name	Type	City	Tenancy	Year Built	Number of Units	Units Absorbed / Month
The Edison At Gordon Square	Market	Cleveland, TN	Family	2017	307	73
The Flats At East Bank	Market	Cleveland, TN	Family	2015	241	16
Bridgeway Apartments	Market	Chattanooga, TN	Family	2014	250	23
Forest Cove Apartments	Market	Chattanooga, TN	Family	2014	120	10
Springs At Chattanooga	Market	Chattanooga, TN	Family	2014	<u>260</u>	<u>19</u>
<b>Average</b>					<b>236</b>	<b>28</b>

Per DCA guidelines, we calculate the absorption to 93 percent occupancy. The Subject is the proposed renovation of an existing LIHTC/market rate property. Historically, the Subject has operated at 96 to 97 percent occupancy. However, the Subject is 93.3 percent occupied due to units being held vacant in anticipation of renovations as tenants vacate those units. Renovations are scheduled to begin in May 2019 and be completed in February 2020. With the healthy LIHTC vacancy rate and waiting lists at the LIHTC comparable properties, we believe that the Subject’s units, if the Subject were hypothetically 100 percent vacant, could reasonably expect to lease 20 units per month. At this rate, the Subject would reach a stabilized occupancy of 93 percent within five to six months. Based on information provided by the client, the Subject will only need to fill 30 units as many of the current tenants are expected to income-qualify to reside at the property post-renovation. It should be noted that a tenant income audit was unavailable as of the date of this report, and we have assumed that only the tenants currently residing in the 60 percent AMI units will continue to income-qualify post-renovation. Assuming that the Subject only needs to fill 30 units, the Subject would reach a stabilized occupancy of 93 percent within one to two months.

# **J. INTERVIEWS**

**Georgia Department of Community Affairs**

We were unable to reach a representative of the Georgia Department of Community Affairs, despite multiple attempts. According to the DCA’s website, the application process for Housing Choice Vouchers was opened from February 1, 2016 to February 7, 2016. The payment standards for Whitfield County are listed below.

**WHITFIELD COUNTY PAYMENT STANDARDS**

Unit Type	Standard
Two-Bedroom	\$731
Three-Bedroom	\$1,007

Source: Georgia Department of Community Affairs, effective January 1st, 2018

The Subject’s proposed rents are set below the current payment standards. The maximum allowable LIHTC rents are below the 2018 payment standards and tenants with Housing Choice Vouchers would be able to reside at the Subject without paying additional rent out of pocket.

**Planning**

We attempted to contact Jean Garland with Whitfield County Planning and Zoning; however, our calls have not been returned as of the date of this report. According to information retrieved from CoStar and from the Georgia Department of Community Affairs, there are no new, planned, or under construction affordable rate properties within the PMA or MSA.

**Dalton-Whitfield Development Authority**

We spoke with Carl Campbell, executive director with the Dalton Whitfield County Joint Development Authority. Mr. Campbell was able to highlight some major economic developments in the area. Specifically, he noted the opening of a solar panel production plant. The plant will be owned and operated by Hanwha Q CELLS and consist of approximately 350,000-square feet. Hanwha Q CELLS plans on opening the plant in January 2019 and employ approximately 525 workers. The plant will be located approximately 11 miles south of the Subject.

Mr. Campbell also mentioned a handful of other small to medium sized operations opening in the City of Dalton in the near future. Healthier Choice Flooring will be the anchor tenant of a new 70-acre commercial business park being developed in the southern portion of Dalton. The company is planning to hire 25 employees for a new 200,000-square foot facility. Mr. Campbell reported that Reagent Chemical and Research, Inc. will be another tenant entering the new business park. Reagent Chemical and Research, Inc. plans to employ approximately 40 workers to operate their business. The business park is to be located approximately 10 miles south of the Subject, and at the time of our survey did not have an estimated completion date.

**Additional interviews can be found in the comments section of the property profiles.**

# **K. CONCLUSIONS AND RECOMMENDATIONS**

## CONCLUSIONS

### Demographics

Between 2000 and 2010 the PMA experienced moderate growth in the general population, outpacing both that of the nation and the MSA. Between 2010 and 2017, however, the PMA experienced minimal growth in the general population, which outpaced the MSA, while lagging behind the nation as a whole. Through the projected market entry date of 2020 and 2022, the general population growth in the PMA is projected to be similar to that of the MSA but less than that of the nation. Between 2010 and 2017, household growth in the PMA and the MSA was slowed, while the number of households in the nation continued to grow at a generally similar pace. General household growth in the PMA and MSA is projected to remain the same and trail that of the nation through market entry. Approximately 40 percent of households in the PMA are renters. The Subject will target tenants earning between \$24,994 and \$34,980. Approximately 67.1 percent of renter households earn less than \$40,000 annually. This indicates that a large share of renter households will be income-eligible to reside at the Subject.

### Employment Trends

The largest industries in the PMA are manufacturing, retail, accommodation/food services, and healthcare. When compared to the nation, the manufacturing sector is overrepresented in the PMA, while the retail, healthcare, education, and professional/scientific/tech services sectors are underrepresented. While the manufacturing, retail trade, and accommodation/food services industries are more susceptible to periods of economic contraction, the educational services and healthcare/social assistance sectors are traditionally more stable. Annual job growth in the MSA lagged the nation in all but one years between 2003 and 2007. The effects of the recession were particularly pronounced in the MSA, which suffered a 15.4 percent contraction in employment (2007-2009), more than the 4.8 percent reported by the nation as a whole (2008-2010). Employment in the MSA has yet to reach pre-recessionary employment levels, while the nation reached pre-recessionary employment levels in 2014. As of August 2018, total employment in the MSA is at a post-recessionary record, and increasing at an annualized rate of 2.5 percent, compared to 1.3 percent across the overall nation. Several employers announced expansions in the region, which is positive for the local economy, while there have been only two WARN notices filed in Whitfield County since 2013, affecting approximately 160 individuals. Overall, the economy appears to be in an expansionary phase that has been ongoing since 2014. This suggests that demand for all housing types should be trending positively as the areas employment base grows. The growing local economy is a positive indicator of demand for rental housing and the Subject's renovated units.

### Capture Rates

The following table illustrates the demand and capture rates for the Subject's proposed units. It should be noted that, per the DCA market study guide, we have only accounted for units that will need to be re-tenanted.

CAPTURE RATE ANALYSIS CHART

Unit Type	Minimum Income	Maximum Income	Units Proposed	Total Demand	Supply	Net Demand	Capture Rate	Proposed Rents
2BR @60%	\$24,994	\$29,160	21	318	0	318	6.6%	\$652
3BR @60%	\$28,834	\$34,980	9	392	0	392	2.3%	\$743
@60% Overall	\$24,994	\$34,980	30	710	0	710	4.2%	-

We believe these calculated capture rates are reasonable, particularly as these calculations do not consider demand from outside the PMA or standard rental household turnover.

## Absorption

At the time of this report, no new multifamily properties were found to be in development within the PMA in the last three years. As such, none of the comparable properties were able to provide absorption data. As such, we have expanded our search to include properties located in Chattanooga and Cleveland, Tennessee, which are both located approximately 24.0 miles north of the Subject. Our findings are detailed in the following table.

### ABSORPTION

Property name	Type	City	Tenancy	Year Built	Number of Units	Units Absorbed / Month
The Edison At Gordon Square	Market	Cleveland, TN	Family	2017	307	73
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<b>Average</b>					<b>236</b>	<b>28</b>

Per DCA guidelines, we calculate the absorption to 93 percent occupancy. The Subject is the proposed renovation of an existing LIHTC/market rate property. Historically, the Subject has operated at 96 to 97 percent occupancy. However, the Subject is 93.3 percent occupied due to units being held vacant in anticipation of renovations as tenants vacate those units. Renovations are scheduled to begin in May 2019 and be completed in February 2020. With the healthy LIHTC vacancy rate and waiting lists at the LIHTC comparable properties, we believe that the Subject's units, if the Subject were hypothetically 100 percent vacant, could reasonably expect to lease 20 units per month. At this rate, the Subject would reach a stabilized occupancy of 93 percent within five to six months. Based on information provided by the client, the Subject will only need to fill 30 units as many of the current tenants are expected to continue to income-qualify to reside at the property post-renovation. It should be noted that a tenant income audit was unavailable as of the date of this report, and we have assumed that only the tenants currently residing in the 60 percent AMI units will continue to income-qualify post-renovation. Assuming that the Subject only needs to fill 30 units, the Subject would reach a stabilized occupancy of 93 percent within one to two months.

## Vacancy Trends

The following table illustrates the vacancy rates in the market.

### OVERALL VACANCY

Property Name	Rent Structure	Tenancy	Total Units	Vacant Units	Vacancy Rate
Autumn Ridge	LIHTC/ Market	Family	130	0	0.0%
Bedford Place*	LIHTC/ Market	Family	88	0	0.0%
Eastgate Apartments*	LIHTC, HOME	Family	56	0	0.0%
Fieldstone Apartments*	LIHTC	Family	56	2	3.6%
Summer Breeze Park*	LIHTC	Family	72	0	0.0%
Dalton Beach Club	Market	Family	155	4	2.6%
Dalton Village Apartments	Market	Family	140	19	13.6%
Emeralds Apartments	Market	Family	44	2	4.5%
Legacy Of Dalton Apartments	Market	Family	158	0	0.0%
Mountain Woods Apartments	Section 8/ Market	Family	100	2	2.0%
Stone Ridge Apartments	Market	Family	100	2	2.0%
<b>Total LIHTC</b>			<b>502</b>	<b>4</b>	<b>0.8%</b>
<b>Total Market Rate</b>			<b>597</b>	<b>27</b>	<b>4.5%</b>
<b>Overall Total</b>			<b>1,099</b>	<b>31</b>	<b>2.8%</b>

\*Located outside the PMA

Overall vacancy in the market is very low at 2.8 percent. The LIHTC and mixed-income comparables demonstrate an average vacancy of 0.8 percent, and four of the five properties are fully occupied. Further, all five of the LIHTC comparables maintain waiting lists, ranging from 20 to 100 households in length. The low vacancy rates and presence of waiting lists among the LIHTC and mixed-income comparables indicates strong demand for affordable housing in the area.

The vacancy rates among the market rate comparable properties range from zero to 13.6 percent, averaging 4.5 percent, which is considered very low. It is important to note that the vacancy rate of Dalton Village Apartments is well above those of the other comparables. The contact reported that the high vacancies are due to renovations that are currently ongoing, and many of the unavailable units are pre-leased. The low vacancy rates among the other market rate comparables indicates strong demand for conventional housing in the area. Historically, the Subject has operated at 96 to 97 percent occupancy. The Subject is 93.3 percent occupied as units are being held vacant in anticipation of renovations as tenants vacate those units. As a newly renovated property, we anticipate that the Subject would perform with a vacancy rate of five percent or less. Based on the low vacancy rates among the LIHTC and market rate comparables, as well as the presence of waiting lists among the LIHTC comparables, we believe that there is sufficient demand for additional affordable housing in the market. We do not believe that the Subject will impact the performance of the existing LIHTC properties if allocated.

### **Strengths of the Subject**

There are no apparent significant issues with the proposed concept. The majority of the comparable properties are older and generally exhibit average condition. The Subject will undergo an extensive renovation and will exhibit good condition, post-renovation. The slightly superior condition of the Subject will be a strength of the development. Additionally, the Subject will offer slightly superior to superior in-unit amenities and similar to slightly superior common area amenities relative to the majority of the comparables.

### **Conclusion**

Based upon our market research, demographic calculations and analysis, we believe there is adequate demand for the Subject property as proposed. The LIHTC comparables are experiencing a weighted average vacancy rate of 0.8 percent, which is considered very low. Historically, the Subject has operated at 96 to 97 percent occupancy. However, the Subject is currently 93.3 percent occupied due to units being held vacant in anticipation of renovations as tenants vacate those units. The majority of the comparable properties are generally older and exhibit average condition. The Subject will undergo an extensive renovation. The only potential weakness of the Subject is the slightly inferior unit sizes in relation to the comparables. Upon completion, the Subject will offer slightly superior to superior in-unit amenities in comparison to the LIHTC and market rate comparable properties and similar to slightly superior property amenities. Many comparables lack hardwood flooring, exterior storage, walk-in closets, garbage disposals, and patios/balconies, all of which will be offered at the Subject. Based on the Subject's current performance, we believe that the renovated Subject is feasible as proposed. We believe that it will fill a void in the market and will perform well.

### **Recommendations**

We recommend the Subject as proposed.



# **L. SIGNED STATEMENT REQUIREMENTS**

I affirm that I (or one of the persons signing below) made a physical inspection of the market area and the Subject property and that information has been used in the full study of the need and demand for the proposed units. The report is written according to DCA's market study requirements, the information included is accurate and the report can be relied upon by DCA as a true assessment of the low-income housing rental market. To the best of my knowledge, the market can support the project as shown in the study. I understand that any misrepresentation of this statement may result in the denial of further participation in DCA's rental housing programs. I also affirm that I have no interest in the project or relationship with the ownership entity and my compensation is not contingent on this project being funded.



Rebecca S. Arthur, MAI  
Partner  
Rebecca.Arthur@novoco.com  
913-312-4615

October 23, 2018



Lawson Short  
Manager  
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214-236-0750

October 23, 2018



Ryan Browder  
Analyst  
Ryan.Browder@novoco.com  
469-329-5216

October 23, 2018



Travis Jorgenson  
Jr. Analyst

October 23, 2018

# **M. MARKET STUDY REPRESENTATION**

Novogradac & Company LLP states that DCA may rely on the representation made in the market study provided and this document is assignable to other lenders that are parties to the DCA loan transaction.



Rebecca S. Arthur, MAI  
Partner  
Rebecca.Arthur@novoco.com  
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469-329-5216

October 23, 2018



Travis Jorgenson  
Jr. Analyst

October 23, 2018

**ADDENDUM A**  
**Assumptions and Limiting Conditions**

## **ASSUMPTIONS AND LIMITING CONDITIONS**

1. In the event that the client provided a legal description, building plans, title policy and/or survey, etc., the market analyst has relied extensively upon such data in the formulation of all analyses.
2. The legal description as supplied by the client is assumed to be correct and the author assumes no responsibility for legal matters, and renders no opinion of property title, which is assumed to be good and merchantable.
3. All encumbrances, including mortgages, liens, leases, and servitudes, were disregarded in this valuation unless specified in the report. It was recognized, however, that the typical purchaser would likely take advantage of the best available financing, and the effects of such financing on property value were considered.
4. All information contained in the report, which others furnished, was assumed to be true, correct, and reliable. A reasonable effort was made to verify such information, but the author assumes no responsibility for its accuracy.
5. The report was made assuming responsible ownership and capable management of the property.
6. The sketches, photographs, and other exhibits in this report are solely for the purpose of assisting the reader in visualizing the property. The author made no property survey, and assumes no liability in connection with such matters. It was also assumed there is no property encroachment or trespass unless noted in the report.
7. The author of this report assumes no responsibility for hidden or unapparent conditions of the property, subsoil or structures, or the correction of any defects now existing or that may develop in the future. Equipment components were assumed in good working condition unless otherwise stated in this report.
8. It is assumed that there are no hidden or unapparent conditions for the property, subsoil, or structures, which would render it more or less valuable. No responsibility is assumed for such conditions or for engineering, which may be required to discover such factors.
9. The investigation made it reasonable to assume, for report purposes, that no insulation or other product banned by the Consumer Product Safety Commission has been introduced into the Subject premises. Visual inspection by the market analyst did not indicate the presence of any hazardous waste. It is suggested the client obtain a professional environmental hazard survey to further define the condition of the Subject soil if they deem necessary.
10. Any distribution of total property value between land and improvements applies only under the existing or specified program of property utilization. Separate valuations for land and buildings must not be used in conjunction with any other study or market study and are invalid if so used.
11. Possession of the report, or a copy thereof, does not carry with it the right of publication, nor may it be reproduced in whole or in part, in any manner, by any person, without the prior written consent of the author particularly as to value conclusions, the identity of the author or the firm with which he or she is connected. Neither all nor any part of the report, or copy thereof shall be disseminated to the general public by the use of advertising, public relations, news, sales, or other media for public communication without the prior written consent and approval of the market analyst. Nor shall the market analyst,

firm, or professional organizations of which the market analyst is a member be identified without written consent of the market analyst.

12. Disclosure of the contents of this report is governed by the Bylaws and Regulations of the professional organization with which the market analyst is affiliated.
13. The author of this report is not required to give testimony or attendance in legal or other proceedings relative to this report or to the Subject property unless satisfactory additional arrangements are made prior to the need for such services.
14. The opinions contained in this report are those of the author and no responsibility is accepted by the author for the results of actions taken by others based on information contained herein.
15. Opinions of value contained herein are estimates. There is no guarantee, written or implied, that the Subject property will sell or lease for the indicated amounts.
16. All applicable zoning and use regulations and restrictions are assumed to have been complied with, unless nonconformity has been stated, defined, and considered in the market study report.
17. It is assumed that all required licenses, permits, covenants or other legislative or administrative authority from any local, state, or national governmental or private entity or organization have been or can be obtained or renewed for any use on which the value estimate contained in this report is based.
18. On all studies, Subject to satisfactory completion, repairs, or alterations, the report and conclusions are contingent upon completion of the improvements in a workmanlike manner and in a reasonable period of time.
19. All general codes, ordinances, regulations or statutes affecting the property have been and will be enforced and the property is not Subject to flood plain or utility restrictions or moratoriums, except as reported to the market analyst and contained in this report.
20. The party for whom this report is prepared has reported to the market analyst there are no original existing condition or development plans that would Subject this property to the regulations of the Securities and Exchange Commission or similar agencies on the state or local level.
21. Unless stated otherwise, no percolation tests have been performed on this property. In making the market study, it has been assumed the property is capable of passing such tests so as to be developable to its highest and best use.
22. No in-depth inspection was made of existing plumbing (including well and septic), electrical, or heating systems. The market analyst does not warrant the condition or adequacy of such systems.
23. No in-depth inspection of existing insulation was made. It is specifically assumed no Urea Formaldehyde Foam Insulation (UFFI), or any other product banned or discouraged by the Consumer Product Safety Commission has been introduced into the property. The market analyst reserves the right to review and/or modify this market study if said insulation exists on the Subject property.
24. Estimates presented in this report are assignable to parties to the development's financial structure.

**ADDENDUM B**  
**Subject and Neighborhood Photographs**



## Photographs of Subject Site and Surrounding Uses



Subject signage



Exterior view of Subject



Exterior view of Subject



Exterior view of Subject



Exterior view of Subject



View west along Dawnville Road NE



View east along Dawnville Road NE



View of manager's office



View of laundry facilities



View of Subject swimming pool



Typical bedroom at Subject



Typical kitchen at Subject



Typical kitchen at Subject



Typical living room at Subject



View of Subject balcony/patio



Typical bathroom at Subject



View of Subject playground



View of Subject volleyball court



Typical single-family home in Subject's neighborhood



Typical single-family home in Subject's neighborhood



Undeveloped vacant land in Subject's neighborhood



Typical commercial uses in Subject's neighborhood



Typical commercial uses in Subject's neighborhood



Single-family home in Subject's neighborhood



House of worship in Subject's neighborhood



Typical commercial uses in Subject's neighborhood



Typical commercial uses in Subject's neighborhood



Typical commercial uses in Subject's neighborhood

**ADDENDUM C**  
Qualifications

**STATEMENT OF PROFESSIONAL QUALIFICATIONS  
REBECCA S. ARTHUR, MAI**

**I. Education**

University of Nebraska, Lincoln, Nebraska  
Bachelor of Science in Business Administration – Finance

Appraisal Institute  
Designated Member (MAI)

**II. Licensing and Professional Affiliation**

Member of Kansas Housing Association  
Board of Directors 2017 - Present  
Designated Member of the Appraisal Institute (MAI)  
Kansas City Chapter of the Appraisal Institute Board of Directors – 2013 & 2014  
Member of National Council of Housing Market Analysts (NCHMA)  
Member of Commercial Real Estate Women (CREW) Network

State of Arkansas Certified General Real Estate Appraisal No. CG2682  
State of Arizona Certified General Real Estate Appraisal No. 31992  
State of California Certified General Real Estate Appraiser No. AG041010  
State of Hawaii Certified General Real Estate Appraiser No. CGA-1047  
State of Iowa Certified General Real Estate Appraiser No. CG03200  
State of Indiana Certified General Real Estate Appraiser No. CG41300037  
State of Kansas Certified General Real Estate Appraiser No. G-2153  
State of Minnesota Certified General Real Estate Appraiser No. 40219655  
State of Missouri Certified General Real Estate Appraiser No. 2004035401  
State of Louisiana Certified General Real Estate Appraiser No. 4018  
State of Texas Certified General Real Estate Appraiser No. TX-1338818-G

**III. Professional Experience**

Partner, Novogradac & Company LLP  
Principal, Novogradac & Company LLP  
Manager, Novogradac & Company LLP  
Real Estate Analyst, Novogradac & Company LLP  
Corporate Financial Analyst, Deloitte & Touche LLP

**IV. Professional Training**

Various Continuing Education Classes as required by licensing, 2016 & 2017  
USPAP Update, January 2016  
Forecasting Revenue, June 2015  
Discounted Cash Flow Model, June 2015  
Business Practices and Ethics, April 2015  
HUD MAP Training – June 2013  
The Appraiser as an Expert Witness: Preparation & Testimony, April 2013  
How to Analyze and Value Income Properties, May 2011  
Appraising Apartments – The Basics, May 2011  
HUD MAP Third Party Tune-Up Workshop, September 2010

HUD MAP Third Party Valuation Training, June 2010  
HUD LEAN Third Party Training, January 2010  
National Uniform Standards of Professional Appraisal Practice, April 2010  
MAI Comprehensive Four Part Exam, July 2008  
Report Writing & Valuation Analysis, December 2006  
Advanced Applications, October 2006  
Highest and Best Use and Market Analysis, July 2005  
HUD MAP – Valuation Advance MAP Training, April 2005  
Advanced Sales Comparison and Cost Approaches, April 2005  
Advanced Income Capitalization, October 2004  
Basic Income Capitalization, September 2003  
Appraisal Procedures, October 2002  
Appraisal Principals, September 2001

## **V. Real Estate Assignments**

A representative sample of Valuation or Consulting Engagements includes:

- In general, have managed and conducted numerous market analyses and appraisals for various types of commercial real estate since 2001, with an emphasis on multifamily housing and land.
- Have managed and conducted numerous market and feasibility studies for multifamily housing. Properties types include Section 42 Low Income Housing Tax Credit (LIHTC) Properties, Section 8, USDA and/or conventional. Local housing authorities, developers, syndicators, HUD and lenders have used these studies to assist in the financial underwriting and design of multifamily properties. Analysis typically includes; unit mix determination, demand projections, rental rate analysis, competitive property surveying, and overall market analysis. The Subjects include both new construction and rehabilitation properties in both rural and metro regions throughout the United States and its territories.
- Have managed and conducted numerous appraisals of multifamily housing. Appraisal assignments typically involved determining the as is, as if complete and the as if complete and stabilized values. Additionally, encumbered LIHTC and unencumbered values were typically derived. The three traditional approaches to value are developed with special methodologies included to value tax credit equity, below market financing and PILOT agreements.
- Performed market studies and appraisals of proposed new construction and existing properties under the HUD Multifamily Accelerated Processing (MAP) program. These reports meet the requirements outlined in HUD Handbook 4465.1 and Chapter 7 of the HUD MAP Guide for 221(d)(4) and 223(f) programs, as well as the LIHTC PILOT Program.
- Performed numerous market study/appraisals assignments for USDA RD properties in several states in conjunction with acquisition rehabilitation redevelopments. Documents are used by states, FannieMae, USDA, and the developer in the underwriting process. Market studies are compliant to State, FannieMae, and USDA requirements. Appraisals are compliant to FannieMae and USDA HB-1-3560 Chapter 7 and Attachments.
- Completed numerous FannieMae and FreddieMac appraisals of affordable and market rate multi-family properties for DUS Lenders.
- Managed and Completed numerous Section 8 Rent Comparability Studies in accordance with



HUD's Section 8 Renewal Policy and Chapter 9 for various property owners and local housing authorities.

- Managed and conducted various City and County-wide Housing Needs Assessments in order to determine the characteristics of existing housing, as well as determine the need for additional housing within designated areas.
- Performed numerous valuations of the General and/or Limited Partnership Interest in a real estate transaction, as well as LIHTC Year 15 valuation analysis.

## **VI. Speaking Engagements**

A representative sample of industry speaking engagements follows:

- Institute for Professional Education and Development (IPED): Tax Credit Seminars
- Institute for Responsible Housing Preservation (IRHP): Annual Meetings
- Midwest FHA Lenders Conference: Annual Meetings
- Southwest FHA Mortgage Association Lenders Conference: Annual Meetings
- National Council of Housing Market Analysts (NCHMA): Seminars and Workshops
- National Council of State Housing Agencies: Housing Credit Connect Conferences
- National Leased Housing Association: Annual Meeting
- Nebraska's County Assessors: Annual Meeting
- Novogradac & Company LLP: LIHTC, Developer and Bond Conferences
- AHF Live! Affordable Housing Finance Magazine Annual Conference
- Kansas Housing Conference
- California Council for Affordable Housing (CCAH) Meetings

# STATEMENT OF PROFESSIONAL QUALIFICATIONS

## LAWSON SHORT

### I. EDUCATION

**St. Edward's University, Austin, Texas**

Bachelor of Arts, English Writing and Rhetoric, 2010

### II. PROFESSIONAL EXPERIENCE

Manager – Novogradac & Company LLP, *March 2018 to Present*

Real Estate Analyst – Novogradac & Company LLP, *March 2012 to March 2018*

Researcher – Novogradac & Company LLP, *March 2011 to March 2012*

### III. PROFESSIONAL TRAINING

Basic Appraisal Principles *June 2013 to January 2014*

Basic Appraisal Procedures *June 2013 to January*

2014 National USPAP Course *June 2013 to January*

2014 Texas Appraiser Trainee License *February 2014*

### IV. REAL ESTATE ASSIGNMENTS

A representative sample of Due Diligence, Consulting, or Valuation Engagements includes:

- Prepared market studies for proposed Low-Income Housing Tax Credit, market rate, HOME financed, USDA Rural Development, and HUD subsidized properties, on a national basis. Analysis includes property screenings, market analysis, comparable rent surveys, demand analysis based on the number of income qualified renters in each market, supply analysis, and operating expenses analysis. Property types include proposed multifamily, senior independent living, assisted living, large family, and acquisition with rehabilitation.
- Assisted in the preparation of Rent Comparability Studies for expiring Section 8 contracts and USDA contracts for subsidized properties located throughout the United States. Engagements included interviewing potentially comparable properties, and the analyses of collected data including adjustments to comparable data to determine appropriate adjusted market rents using HUD form 92273.
- Assisted in various types of appraisals of proposed new construction, rehabilitation, and existing properties. Analysis includes property screenings, valuation analysis, capitalization rate analysis, rent comparability studies, expense comparability analysis, determination of market rents, and general market analysis. Appraisals assisted on have

included Freddie Mac, Fannie Mae, HUD Multifamily Accelerated Processing (MAP), among others.

- Conducted over 150 site inspections for market studies and appraisals throughout the United States for various reports including proposed new construction and rehabilitation projects.
- Researched and analyzed local and national economy and economic indicators for specific projects throughout the United States. Research included employment industries analysis, employment historical trends and future outlook, and demographic analysis.
- Examined local and national housing market statistical trends and potential outlook in order to determine sufficient demand for specific projects through the United States.

# STATEMENT OF PROFESSIONAL QUALIFICATIONS

## RYAN BROWDER

### I. EDUCATION

**Baylor University, Waco, Texas**

Bachelor of Business Administration, Finance, 2014

### II. PROFESSIONAL EXPERIENCE

Real Estate Analyst – Novogradac & Company LLP, *December 2016 to Present*

Real Estate Consultant – Jackson & Cooksey, *August 2014 to December 2016*

### III. REAL ESTATE ASSIGNMENTS

A representative sample of Due Diligence, Consulting, or Valuation Engagements includes:

- Prepared market studies for proposed Low-Income Housing Tax Credit, market rate, HOME financed, USDA Rural Development, and HUD subsidized properties, on a national basis. Analysis includes property screenings, market analysis, comparable rent surveys, demand analysis based on the number of income qualified renters in each market, and supply analysis. Property types include proposed multifamily, senior independent living, large family, and acquisition with rehabilitation.
- Assisted in the preparation of Rent Comparability Studies for expiring Section 8 contracts and USDA contracts for subsidized properties located throughout the United States. Engagements included interviewing potentially comparable properties, and the analyses of collected data including adjustments to comparable data to determine appropriate adjusted market rents using HUD form 92273.
- Researched and analyzed local and national economy and economic indicators for specific projects throughout the United States. Research included employment industries analysis, employment historical trends and future outlook, and demographic analysis.
- Examined local and national housing market statistical trends and potential outlook in order to determine sufficient demand for specific projects through the United States.

# STATEMENT OF PROFESSIONAL QUALIFICATIONS

## Travis Jorgenson

### I. Education

Georgia Institute of Technology- Atlanta, GA  
Bachelors of Business Administration and Management, General Management

### II. Professional Experience

Junior Analyst, Novogradac & Company LLP, July 2017 – Present  
Claims Analyst, Zelis Healthcare, May 2017-July 2017  
Automotive Research Intern, Hearst Autos, October 2016-May 2017

### III. Research Assignments

A representative sample of work on various types of projects:

- Assist in performing and writing market studies and appraisals of proposed and existing Low-Income Housing Tax credit (LIHTC) properties
- Research web-based rent reasonableness systems and contact local housing authorities for utility allowance schedules, payment standards, and housing choice voucher information
- Assisted numerous market and feasibility studies for family and senior affordable housing. Local housing authorities, developers, syndicators and lenders have used these studies to assist in the financial underwriting and design of market-rate and Low-Income Housing Tax Credit (LIHTC) properties. Analysis typically includes: unit mix determination, demand projections, rental rate analysis, competitive property surveying and overall market analysis.

**ADDENDUM D**  
**Summary Matrix**

**SUMMARY MATRIX**

Comp #	Property Name	Distance to Subject	Type / Built / Renovated	Rent Structure	Unit Description	#	%	Size (SF)	Restriction	Rent (Adj)	Max Rent?	Waiting List?	Vacant Units	Vacancy Rate
Subject	Dawnville Meadows - As Renovated 161 Dawnville Road NE Dalton, GA 30721 Whitfield County	-	Garden (2 stories) 2000 / 2020 Family	@60%	2BR / 2BA	80	66.7%	948	@60%	\$652	Yes		0	0.0%
					3BR / 2BA	40	33.3%	1,248	@60%	\$743	Yes		0	0.0%
						<u>120</u>	<u>100.0%</u>						<u>0</u>	<u>0.0%</u>
1	Autumn Ridge 850 Autumn Court Dalton, GA 30721 Whitfield County	0.6 miles	Garden (2 stories) 2004 / n/a Family	@30%, @50%, @60%, Market	1BR / 1BA	N/A	0	892	@50%	\$465	No	Yes	0	0
					1BR / 1BA	N/A	0	892	@60%	\$572	No	Yes	0	0
					1BR / 1BA	N/A	0	892	Market	\$758	N/A	Yes	0	0
					2BR / 2BA	N/A	0	1,208	@50%	\$537	No	Yes	0	0
					2BR / 2BA	N/A	0	1,208	@60%	\$665	No	Yes	0	0
					2BR / 2BA	N/A	0	1,208	Market	\$866	N/A	Yes	0	0
					3BR / 2BA	N/A	0	1,486	@30%	\$306	No	Yes	0	0
					3BR / 2BA	N/A	0	1,486	@50%	\$601	No	Yes	0	0
					3BR / 2BA	N/A	0	1,486	@60%	\$749	No	Yes	0	0
					3BR / 2BA	N/A	0	1,486	Market	\$978	N/A	Yes	0	0
						<u>130</u>	<u>0</u>							
2	Bedford Place 60 Bedford Place Ringgold, GA 30736 Catoosa County	12.2 miles	Lowrise (2 stories) 2004 / n/a Family	@30%, @50%, @60%, Market	1BR / 1BA	2	2.3%	783	@30%	\$274	No	Yes	0	0.0%
					1BR / 1BA	8	9.1%	783	@50%	\$508	No	Yes	0	0.0%
					1BR / 1BA	6	6.8%	783	@60%	\$518	No	Yes	0	0.0%
					1BR / 1BA	4	4.5%	783	Market	\$573	N/A	Yes	0	0.0%
					2BR / 1BA	3	3.4%	1,025	@30%	\$325	No	Yes	0	0.0%
					2BR / 1BA	24	27.3%	1,025	@50%	\$586	No	Yes	0	0.0%
					2BR / 1BA	11	12.5%	1,025	@60%	\$601	No	Yes	0	0.0%
					2BR / 1BA	10	11.4%	1,025	Market	\$681	N/A	Yes	0	0.0%
					3BR / 1BA	8	9.1%	1,180	@50%	\$638	No	Yes	0	0.0%
					3BR / 1BA	8	9.1%	1,180	@60%	\$678	No	Yes	0	0.0%
					3BR / 1BA	4	4.5%	1,180	Market	\$743	N/A	Yes	0	0.0%
	<u>88</u>	<u>100.0%</u>								<u>0</u>	<u>0.0%</u>			
3	Eastgate Apartments 420 Richardson Street Calhoun, GA 30701 Gordon County	23.8 miles	Garden (2 stories) 2001 / n/a Family	LIHTC, HOME	1BR / 1BA	7	12.5%	684	@50% (HOME)	\$384	No	Yes	0	0.0%
					1BR / 1BA	5	8.9%	684	@60% (HOME)	\$394	No	Yes	0	0.0%
					2BR / 1BA	19	33.9%	829	@50% (HOME)	\$465	No	Yes	0	0.0%
					2BR / 1BA	13	23.2%	829	@60% (HOME)	\$494	No	Yes	0	0.0%
					3BR / 2BA	8	14.3%	1,100	@50% (HOME)	\$518	No	Yes	0	0.0%
					3BR / 2BA	4	7.1%	1,100	@60% (HOME)	\$540	No	Yes	0	0.0%
	<u>56</u>	<u>100.0%</u>								<u>0</u>	<u>0.0%</u>			
4	Fieldstone Apartments 400 South 2nd Avenue Chatsworth, GA 30705 Murray County	10.6 miles	Various (2 stories) 1999 / n/a Family	@50% (HOME), @60%	1BR / 1BA	12	21.4%	749	@50% (HOME)	\$400	Yes	Yes	0	0.0%
					1BR / 1BA	4	7.1%	749	@60%	\$410	Yes	Yes	0	0.0%
					2BR / 1BA	14	25.0%	889	@50% (HOME)	\$453	Yes	Yes	0	0.0%
					2BR / 1BA	6	10.7%	889	@60%	\$453	No	Yes	0	0.0%
					3BR / 2BA	14	25.0%	1,111	@50% (HOME)	\$495	Yes	Yes	1	7.1%
					3BR / 2BA	6	10.7%	1,111	@60%	\$495	No	Yes	1	16.7%
	<u>56</u>	<u>100.0%</u>								<u>2</u>	<u>3.6%</u>			
5	Summer Breeze Park 3359 Boynton Rd Ringgold, GA 30736 Catoosa County	15.2 miles	Garden (3 stories) 2016 / n/a Family	@50%, @60%	1BR / 1BA	11	15.3%	866	@50%	\$458	No	Yes	0	0.0%
					1BR / 1BA	7	9.7%	866	@60%	\$463	No	Yes	0	0.0%
					2BR / 2BA	2	2.8%	1,069	@50%	\$531	No	Yes	0	0.0%
					2BR / 2BA	28	38.9%	1,069	@60%	\$531	No	Yes	0	0.0%
					3BR / 2BA	2	2.8%	1,239	@50%	\$598	No	Yes	0	0.0%
					3BR / 2BA	22	30.6%	1,239	@60%	\$598	No	Yes	0	0.0%
	<u>72</u>	<u>100.0%</u>								<u>0</u>	<u>0.0%</u>			
6	Dalton Beach Club 1902 Brady Drive Dalton, GA 30720 Whitfield County	3.2 miles	Townhouse (2 stories) 1985 / Ongoing Family	Market	2BR / 1.5BA	155	100.0%	1,150	Market	\$901	N/A	No	4	2.6%
						<u>155</u>	<u>100.0%</u>						<u>4</u>	<u>2.6%</u>
7	Dalton Village Apartments 1809 Shadow Lane Dalton, GA 30720 Whitfield County	3.6 miles	Garden (3 stories) 1982 / Ongoing Family	Market	1BR / 1BA	40	28.6%	800	Market	\$750	N/A	Yes	N/A	0
					2BR / 2BA	64	45.7%	1,200	Market	\$825	N/A	Yes	N/A	0
					3BR / 2BA	36	25.7%	1,470	Market	\$975	N/A	Yes	N/A	0
	<u>140</u>	<u>100.0%</u>								<u>19</u>	<u>13.6%</u>			
8	Emeralds Apartments 113 N. Tibbs Road Dalton, GA 30720 Whitfield County	4.2 miles	Garden (1 stories) 1967 / n/a Family	Market	1BR / 1BA	4	9.1%	900	Market	\$600	N/A	No	0	0.0%
					2BR / 2BA	30	68.2%	1,180	Market	\$775	N/A	No	2	6.7%
					3BR / 2BA	10	22.7%	1,300	Market	\$895	N/A	No	0	0.0%
	<u>44</u>	<u>100.0%</u>								<u>2</u>	<u>4.5%</u>			
9	Legacy Of Dalton Apartments 2111 Club Drive Dalton, GA 30720 Whitfield County	3.8 miles	Garden (1 stories) 1971 / n/a Family	Market	1BR / 1BA	81	51.3%	800	Market	\$764	N/A	No	0	0.0%
					2BR / 2BA	53	33.5%	1,100	Market	\$859	N/A	No	0	0.0%
					3BR / 2BA	24	15.2%	1,300	Market	\$974	N/A	No	0	0.0%
	<u>158</u>	<u>100.0%</u>								<u>0</u>	<u>0.0%</u>			
10	Mountain Woods Apartments 1016 Ponderosa Lane Dalton, GA 30720 Whitfield County	3.1 miles	Garden (2 stories) 1974 / n/a Family	Market, Section 8	1BR / 1BA	4	4.0%	780	Market	\$742	N/A	Yes	1	25.0%
					1BR / 1BA	20	20.0%	780	Section 8	\$700	N/A	Yes	0	0.0%
					2BR / 1BA	10	10.0%	1,000	Market	\$802	N/A	Yes	0	0.0%
					2BR / 1BA	30	30.0%	1,000	Section 8	\$750	N/A	Yes	0	0.0%
					3BR / 1BA	6	6.0%	1,215	Market	\$932	N/A	Yes	1	16.7%
					3BR / 1BA	30	30.0%	1,215	Section 8	\$850	N/A	Yes	0	0.0%
	<u>100</u>	<u>100.0%</u>								<u>2</u>	<u>2.0%</u>			
11	Stone Ridge Apartments 1104 Walston Street Dalton, GA 30720 Whitfield County	3.4 miles	Various (1 stories) 1973 / n/a Family	Market	1BR / 1BA	28	28.0%	800	Market	\$628	N/A	No	0	0.0%
					2BR / 2BA	24	24.0%	1,251	Market	\$695	N/A	No	0	0.0%
					2BR / 2BA	24	24.0%	1,200	Market	\$730	N/A	No	2	8.3%
					3BR / 2BA	24	24.0%	1,360	Market	\$774	N/A	No	0	0.0%
	<u>100</u>	<u>100.0%</u>								<u>2</u>	<u>2.0%</u>			

**ADDENDUM E**  
Site Plan



Exhibit 63 e

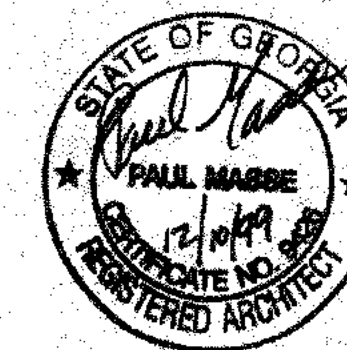
Exhibit 63 f

Exhibit 63 g

# DALTON FLATS APARTMENTS

161 DAWNVILLE ROAD

DALTON, GEORGIA



PHM Ltd.  
designers & architects

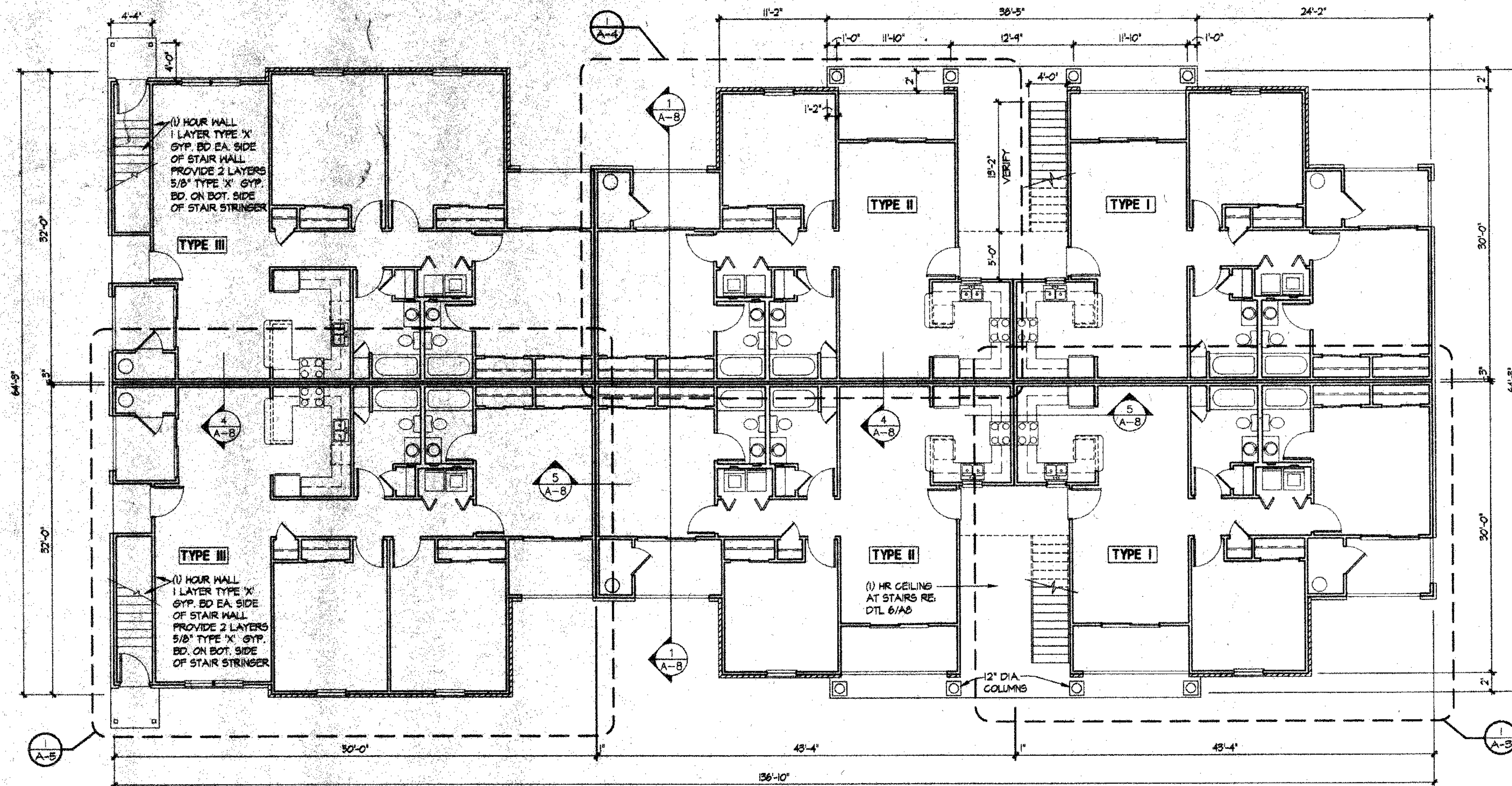
504B City Blvd., Suite 359, Waycross, Georgia 31501

## SHEET INDEX

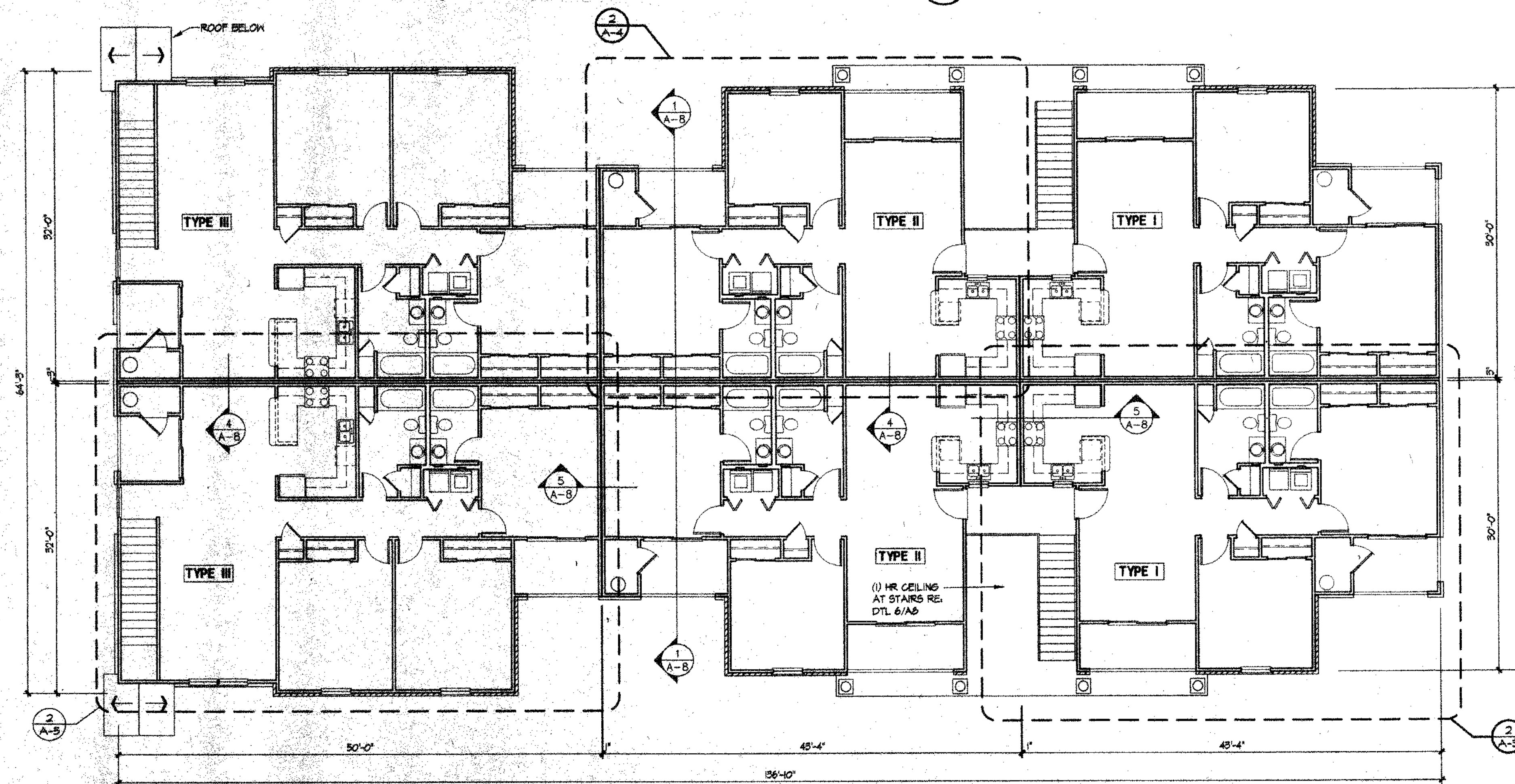
A-1	1/8" FLOOR PLANS / NOTES
A-2	1/8" FLOOR PLAN / ROOF PLAN
A-3	1/4" FLOOR PLAN UNIT TYPE I / NOTES
A-4	1/4" FLOOR PLAN UNIT TYPE II INTERIOR ELEVATIONS
A-5	1/4" FLOOR PLAN UNIT TYPE III
A-6	EXTERIOR ELEVATIONS
A-7	FRAMING PLANS / FRAMING NOTES
A-8	BUILDING & WALL SECTIONS / DETAILS
A-9	WALL SECTIONS / DETAILS
A-10	FIRE RATING DETAILS
A-11	FIRE RATING DETAILS
A-12	COMMUNITY BUILDING FLOOR PLAN
A-13	COMMUNITY BUILDING EXT. ELEVATIONS
A-14	COMMUNITY BUILDING EXT. ELEVATIONS
A-15	COMMUNITY BUILDING SECTION / ROOF PLAN
A-16	ADA AND MISC. DETAILS
A-17	ADA AND MISC. DETAILS
MEP-1	ELECTRICAL PLANS / NOTES
MEP-2	COMMUNITY BUILDING ELECTRICAL PLAN

## BUILDING DATA

CODE	1995 SBCCI
CONSTRUCTION TYPE	TYPE V NR



**1 FIRST FLOOR PLAN - BUILDING NO. 1**  
1/8"=1'-0"



**2 SECOND FLOOR PLAN - BUILDING NO. 1**  
1/8"=1'-0"

**GENERAL NOTES**

1. THE CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME FAMILIARIZED WITH ALL EXISTING CONDITIONS WHICH MAY AFFECT THE BID. NO ALLOWANCES WILL BE MADE AFTER THE BID FOR EXISTING CONDITIONS OR THE CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK OF THIS CONTRACT BY THE OWNER AND THE ARCHITECT. ANY DEFECTS DEVELOPING WITHIN THIS PERIOD, TRACEABLE TO MATERIALS OR WORKMANSHIP PERFORMED HEREUNDER, SHALL BE MADE GOOD AT THE EXPENSE OF THE CONTRACTOR, NOT THE OWNER. THE CONTRACTOR SHALL ACCEPT AND FULLY UNDERSTAND THIS PROVISION PRIOR TO CONTRACT BEING AWARDED, AS NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR CORRECTION OF FAULTY WORK OR DEFECTIVE MATERIALS. ANY TIME DURING THE CONSTRUCTION PERIOD, OWNER'S REPRESENTATIVES AND THE ARCHITECT RETAIN THE RIGHT TO REQUIRE THE CONTRACTOR TO REMOVE AND REINSTALL ANY EQUIPMENT OR MATERIALS NOT FOLLOWING THE STANDARDS AS PRESENTED HEREIN OR ON THE DRAWINGS WITHOUT COST TO THE OWNER OR ARCHITECT.
3. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
4. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED OR CAPPED, AS REQUIRED BY CODE OR SOUND CONSTRUCTION PRACTICE.
5. THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE FROM THE ARCHITECT THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
6. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT.
7. WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
8. ALL WORK AS OUTLINED IN THESE DOCUMENTS, SHALL STRICTLY CONFORM TO ALL APPLICABLE CODES AND ORDINANCES, THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN AND BE MET.
9. THE CONTRACTOR SHALL PAY FOR ALL FEES, PERMITS, LICENCES, ETC., NECESSARY FOR PROPER COMPLETION OF THE WORK.
10. PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE AND ACCESSORIES, TO INCLUDE ALL ADA MOUNTED HARDWARE.
11. WHEN A SYSTEM OR ASSEMBLY IS CALLED OUT FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION/SYSTEM SHALL BE AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
12. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC., SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMPLISH RESULT WITHOUT CAUSING ANY CHANGES IN THE WALL PLANE. ALL CONTROLS SWITCHES, ETC. TO BE MOUNTED AT 48" AFF. ALL OUTLETS TO BE MOUNTED AT 15" AFF U.N.O.
13. COORDINATE WITH ALL TRADES THE LOCATIONS OF SLEEVES OR OTHER PRESET ACCESSORIES INVOLVING OTHER TRADES.
14. IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE A COMPLETE FINISHED FACILITY. ANY MATERIAL, SYSTEM, EQUIPMENT OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED SHALL BE PROVIDED AS IF SPECIFICALLY NOTED.
15. WHEN WORK IS NOT CALLED OUT AS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER AND BE OF THE BEST MATERIALS AND WORKMANSHIP.
16. DIMENSIONS ARE SHOWN FROM FACE STUD TO FACE OF STUD AND EDGE OF ROUGH OPENING UNLESS NOTED OTHERWISE.
17. DISRUPTED ELECTRICAL AND WATER LINES RE-ROUTED DURING PROJECT CONSTRUCTION ARE TO REMAIN IN CONTINUOUS SERVICE.
18. DISRUPTED EXISTING CONDITIONS I.e. LANDSCAPING, LIGHTING, IRRIGATION, PEDESTRIAN AND VEHICLE ACCESS SHOULD BE REPLACED AT THE END OF CONSTRUCTION TO THE SAME CONDITIONS PRIOR TO CONSTRUCTION DISRUPTION.

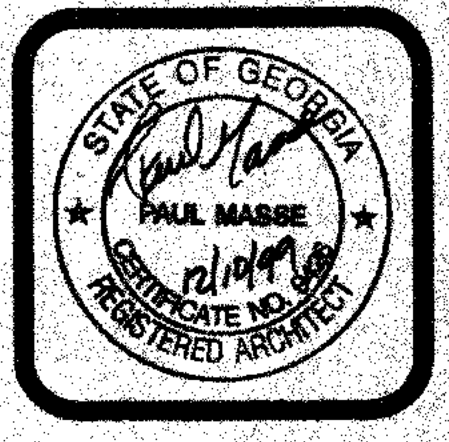
**LEGEND OF MATERIALS:**

- EARTH
- CONCRETE
- SAND
- ROOF
- PLYWOOD
- GYPSUM WALLBOARD (GWB)
- INSULATION
- WOOD CONTINUOUS
- WOOD BLOCKING
- WOOD - FINISHED
- ASPHALT

**LEGEND OF SYMBOLS**

- SECTION NO. 18 A-B BUILDING/WALL SECTION
- SHEET NO. 18 A-B DETAIL
- ELEVATION
- REVISION
- KEYNOTE 19

REVISIONS	DATE

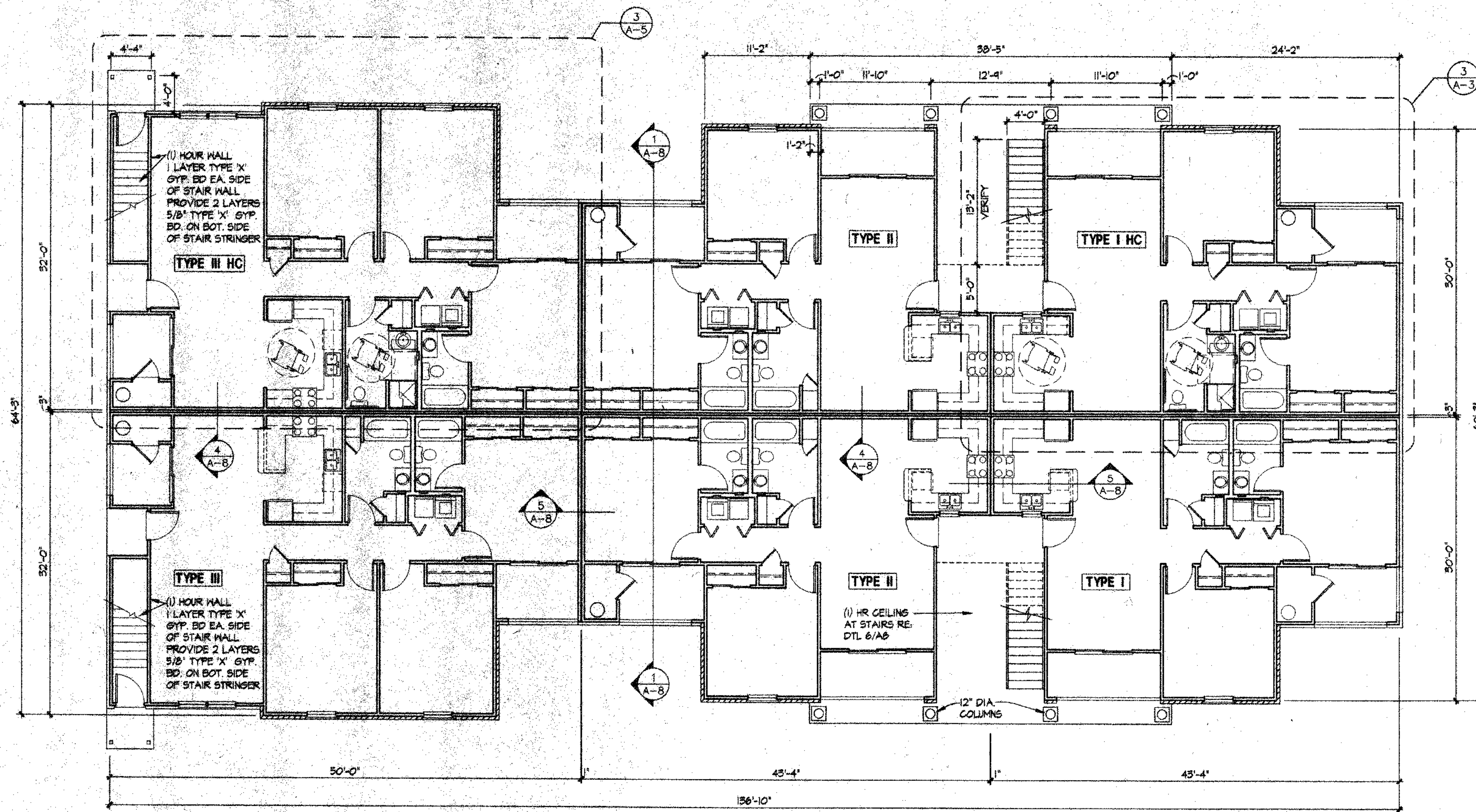


**PHM Ltd.**  
designers & architects  
504B City Blvd., Suite 359, Waycross, Georgia 31501

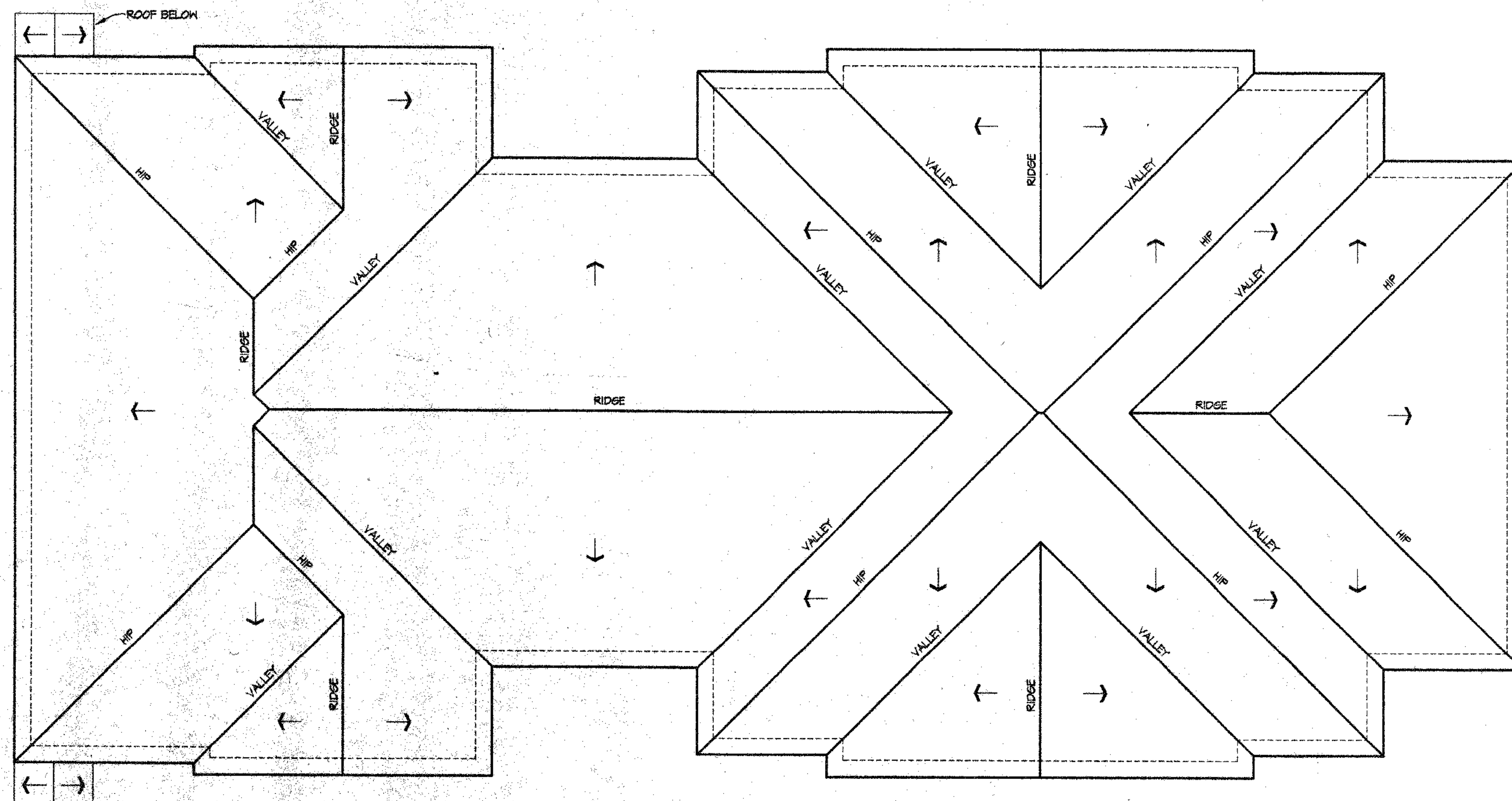
**DALTON FLATS**  
Dawville Road  
Dalton, Georgia

DRAWN
CHECKED
DATE 12/09/99
SCALE AS NOTED
JOB NUMBER

SHEET NO.  
**A-1**  
OF



**1 FIRST FLOOR PLAN - BUILDING NO. 2**  
1/8"=1'-0"



**2 ROOF PLAN**  
1/8"=1'-0"

**ABBREVIATIONS:**

<ul style="list-style-type: none"> <li>∅ - AND</li> <li>∠ - ANGLE</li> <li>AT - CENTERLINE</li> <li>∅ - DIAMETER</li> <li># - NUMBER OR FOUND</li> <li>PL - PLATE OR PROPERTY LINE</li> <li>SQ - SQUARE FOOT</li> <li>ACOUS. - ACOUSTICAL</li> <li>A.D. - AREA DRAIN</li> <li>ADJ. - ADJUSTABLE</li> <li>A.F.F. - ABOVE FINISH FLOOR</li> <li>ACGR. - AGGREGATE</li> <li>ALUM. - ALUMINUM</li> <li>APPROX. - APPROXIMATELY</li> <li>ARCH. - ARCHITECTURAL</li> <li>BD. - BOARD</li> <li>BLDG. - BUILDING</li> <li>BN. - BEAM, BENCH MARK</li> <li>CAB. - CABINET</li> <li>CER. - CERAMIC</li> <li>C.J. - CONTROL JOINT</li> <li>C.I. - CAST IRON</li> <li>C.L. - CEILING</li> <li>C.L.O. - CLOSET</li> <li>C.M.U. - CONCRETE MASONRY UNIT</li> <li>C.O. - CASED OPENING</li> <li>COL. - COLUMN</li> <li>CONC. - CONCRETE</li> <li>CONN. - CONNECTION</li> <li>CONSTR. - CONSTRUCTION</li> <li>CONT. - CONTINUOUS</li> <li>CORR. - CORRIDOR</li> <li>DBL. - DOUBLE</li> <li>DEPT. - DEPARTMENT</li> <li>DET. - DETAIL</li> <li>DIA. - DIAMETER</li> <li>DIM. - DIMENSION</li> <li>DR. - DOOR</li> <li>DRW. - DRAWER</li> <li>DS. - DOWNSPOUT</li> <li>DWG. - DRAWING</li> <li>EA. - EACH</li> <li>E.J. - EXPANSION JOINT</li> <li>EL. - ELEVATION</li> <li>ELEC. - ELECTRICAL</li> <li>ELEV. - ELEVATOR</li> <li>EMER. - EMERGENCY</li> <li>ENCL. - ENCLOSURE</li> <li>E.P. - ELECTRICAL PANELBOARD</li> <li>EQ. - EQUAL</li> <li>EQUIP. - EQUIPMENT</li> <li>E.W.C. - ELECTRICAL WATER COOLER</li> <li>EXIST. - EXISTING</li> <li>EXPO. - EXPOSED</li> <li>EXP. - EXPANSION</li> <li>EXT. - EXTERIOR</li> <li>F.A. - FIRE ALARM</li> <li>F.C. - FIRE CODE</li> <li>F.D. - FLOOR DRAIN</li> </ul>	<ul style="list-style-type: none"> <li>F.E. - FIRE EXTINGUISHER</li> <li>F.E.C. - FIRE EXTINGUISHER CABINET</li> <li>FIN. - FINISH OR FINISHED</li> <li>F.H.C. - FIRE HOSE CABINET</li> <li>FIN. - FINISH OR FINISHED</li> <li>FL. - FLOOR</li> <li>FL. - FLASH</li> <li>FL. - FLUORESCENT</li> <li>F.O.C. - FACE OF CONCRETE</li> <li>F.O.S. - FACE OF STUDS</li> <li>FT. - FEET OR FOOT</li> <li>GA. - GAGE</li> <li>GEN. - GENERAL CONTRACTOR</li> <li>G.L. - GLASS</li> <li>GR. - GRADE</li> <li>G.W.B. - GYPSUM WALL BOARD</li> <li>H.B. - HOSE BIBB</li> <li>H.C. - HOLLOW CORE</li> <li>H.W. - HARDWARE</li> <li>H.W.D. - HARDWOOD</li> <li>H.M. - HOLLOW METAL</li> <li>HORIZ. - HORIZONTAL</li> <li>HR. - HOUR</li> <li>HT. - HEIGHT</li> <li>I.D. - INSIDE DIMENSION</li> <li>INSUL. - INSULATION</li> <li>INT. - INTERIOR</li> <li>JAN. - JANITOR</li> <li>JT. - JOINT</li> <li>KIT. - KITCHEN</li> <li>K.O. - KICK OUT</li> <li>LAV. - LAVATORY</li> <li>LAV. - LAVATORY</li> <li>LT. - LIGHT</li> <li>MAX. - MAXIMUM</li> <li>MECH. - MECHANICAL</li> <li>M.E.P. - MECHANICAL/ELECTRICAL &amp; PLUMBING MANUFACTURER</li> <li>MFR. - MANUFACTURER</li> <li>MIN. - MINIMUM</li> <li>MISC. - MISCELLANEOUS</li> <li>M.O. - MOUNTING OPENING</li> <li>MTD. - MOUNTED</li> <li>MTL. - METAL</li> <li>MULL. - MULLION</li> <li>N.I.C. - NOT IN CONTRACT</li> <li>N.O. - NUMBER</li> <li>N.T.S. - NOT TO SCALE</li> <li>O.C. - ON CENTER</li> <li>O.D. - OUTSIDE DIAMETER</li> <li>OFF. - OFFICE</li> <li>OPNG. - OPENING</li> <li>OPP. - OPPOSITE</li> <li>PART. - PARTITION</li> <li>PL. - PLATE</li> <li>PLAS. - PLASTER</li> </ul>	<ul style="list-style-type: none"> <li>PLYND. - PLYWOOD</li> <li>PR. - PAIR</li> <li>PT. - POINT</li> <li>Q.T. - QUARRY TILE</li> <li>R. - RISER</li> <li>RAD. - RADIUS</li> <li>R.D. - ROOF DRAIN</li> <li>R.D.L. - ROOF DRAIN LEADER</li> <li>REF. - REFER OR REFERENCE</li> <li>REFG. - REFERRED</li> <li>REIN. - REINFORCED</li> <li>REQ. - REQUIRED</li> <li>RM. - ROOM</li> <li>R.O. - ROOM OPENING</li> <li>R.O.W. - RIGHT OF WAY</li> <li>S.C. - SOLID CORE</li> <li>SCHED. - SCHEDULE</li> <li>SECT. - SECTION</li> <li>S.F. - SQUARE FEET</li> <li>SHT. - SHEET</li> <li>SIM. - SIMILAR</li> <li>SPEC. - SPECIFICATION</li> <li>SO. - SQUARE</li> <li>S.STL. - STAINLESS STEEL</li> <li>S.S. - SERVICE SINK</li> <li>STA. - STATION</li> <li>STD. - STANDARD</li> <li>STL. - STEEL</li> <li>STOR. - STORAGE</li> <li>STRUCT. - STRUCTURAL</li> <li>SUSP. - SUSPENDED OR SUSPENSION</li> <li>T. - TREAD</li> <li>T.C. - TOP OF CURB</li> <li>TEL. - TELEPHONE</li> <li>T.M. - TONGUE &amp; GROOVE</li> <li>THK. - THICK</li> <li>T.O.J. - TOP OF JOIST</li> <li>T.O.S. - TOP OF STEEL</li> <li>T.P. - TOP OF PAVEMENT</li> <li>T.W. - TOP OF WALL</li> <li>TYP. - TYPICAL</li> <li>UNF. - UNFINISHED</li> <li>U.O.N. - UNLESS OTHERWISE NOTED</li> <li>UR. - URINAL</li> <li>VERT. - VERTICAL</li> <li>VEST. - VESTIBULE</li> <li>W. - WITH</li> <li>W.C. - WATER CLOSET</li> <li>WD. - WOOD</li> <li>WID. - WIDTH</li> <li>W.P. - WATERPROOF</li> <li>WST. - WATERSHOT</li> <li>WT. - WEIGHT</li> <li>W.W.F. - WELDED WIRE FABRIC</li> <li>W.W.M. - WELDED WIRE MESH</li> </ul>
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REVISIONS	DATE



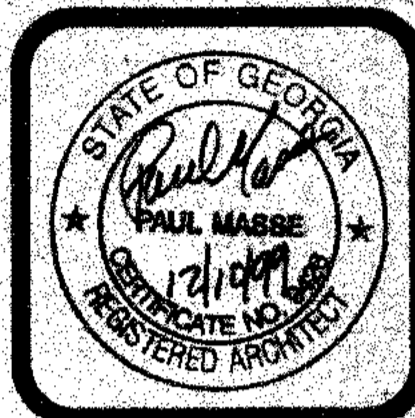
**PHM Ltd.**  
designers & architects  
5048 City Blvd., Suite 358, Waycross, Georgia 31501

**DALTON FLATS**  
Dawnville Road  
Dalton, Georgia

DRAWN
CHECKED
DATE 12/09/99
SCALE AS NOTED
JOB NUMBER

SHEET NO.  
**A-2**  
OF

REVISIONS	DATE

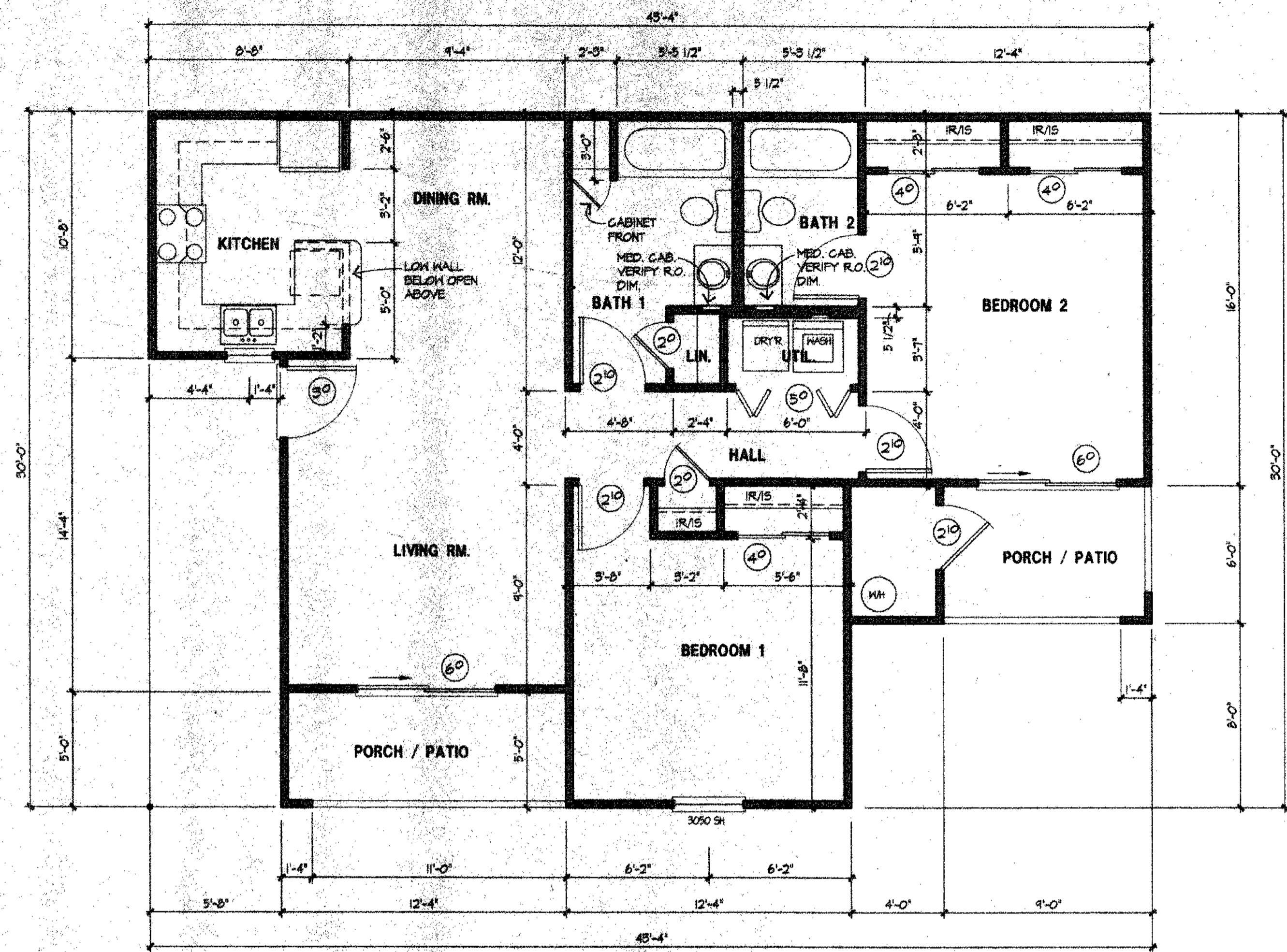


**PHM Ltd.**  
designers & architects  
5048 City Divi., Suite 359, Waycross, Georgia 31501

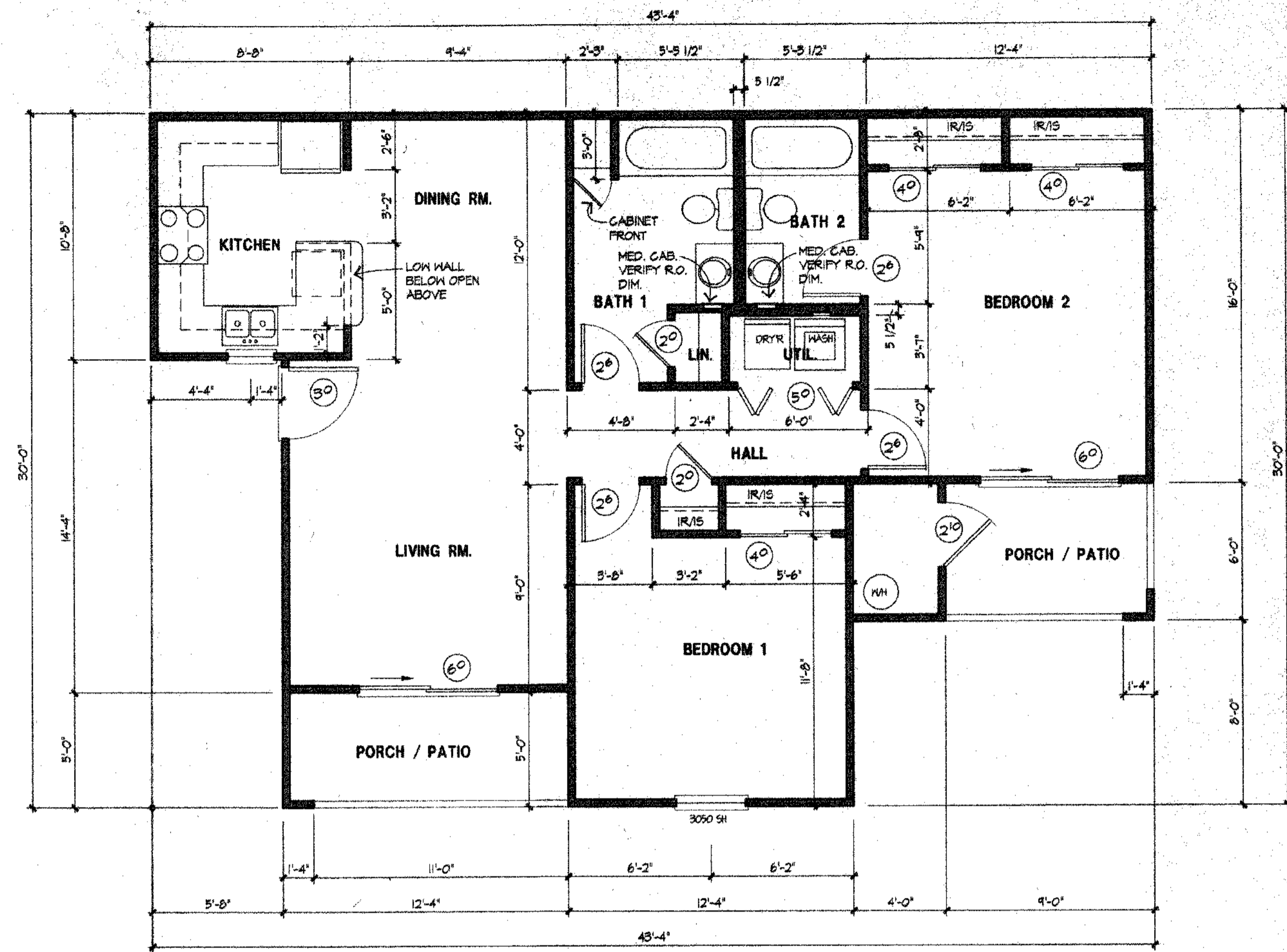
**DALTON FLATS**  
Dawnville Road  
Dalton, Georgia

DRAWN
CHECKED
DATE 12/09/99
SCALE AS NOTED
JOB NUMBER

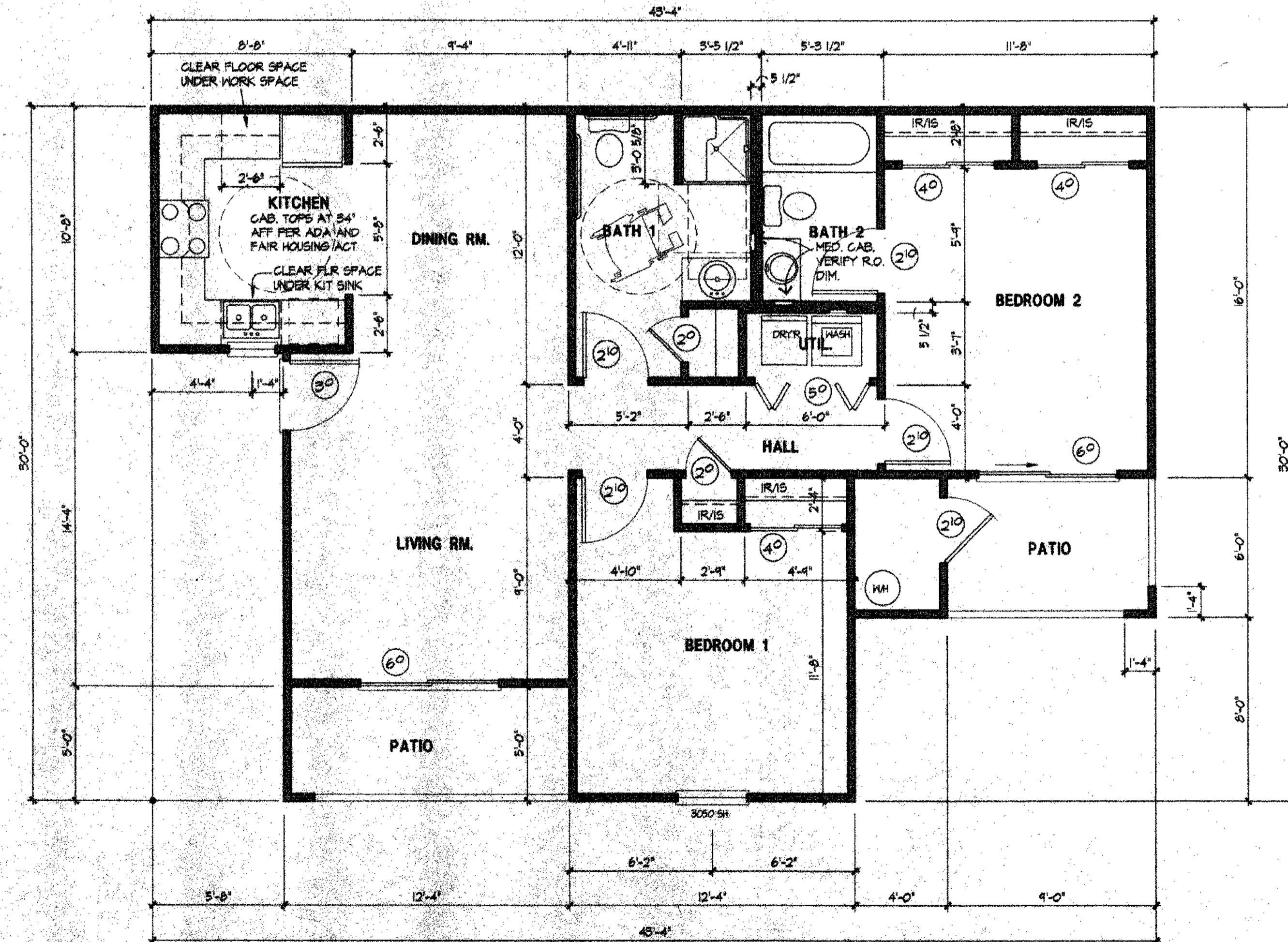
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**A-3**



**1 UNIT TYPE I - FIRST FLOOR**  
1/4"=1'-0" 3 BEDROOM 2 BATH (947 S.F.)



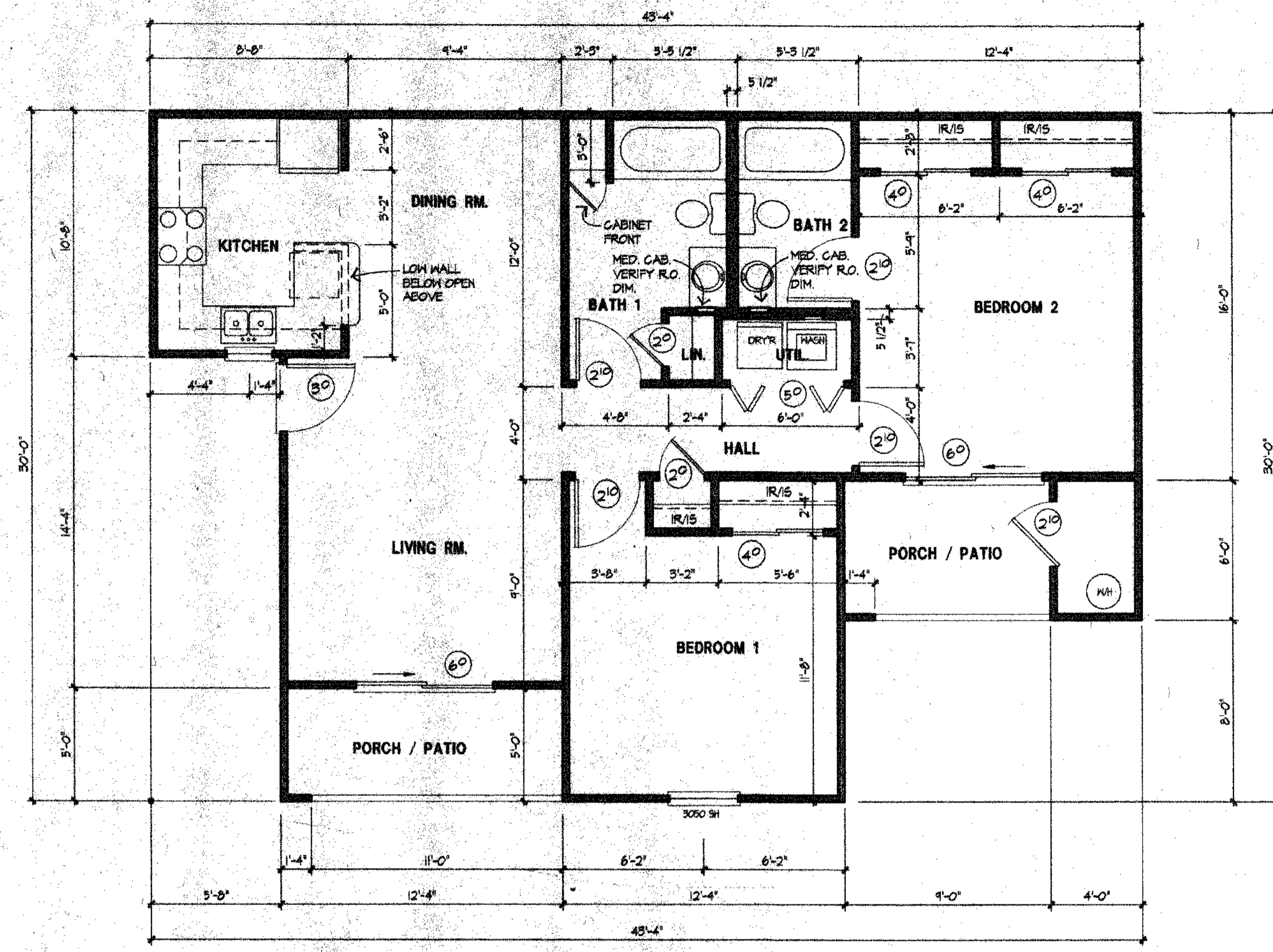
**2 UNIT TYPE I - SECOND FLOOR**  
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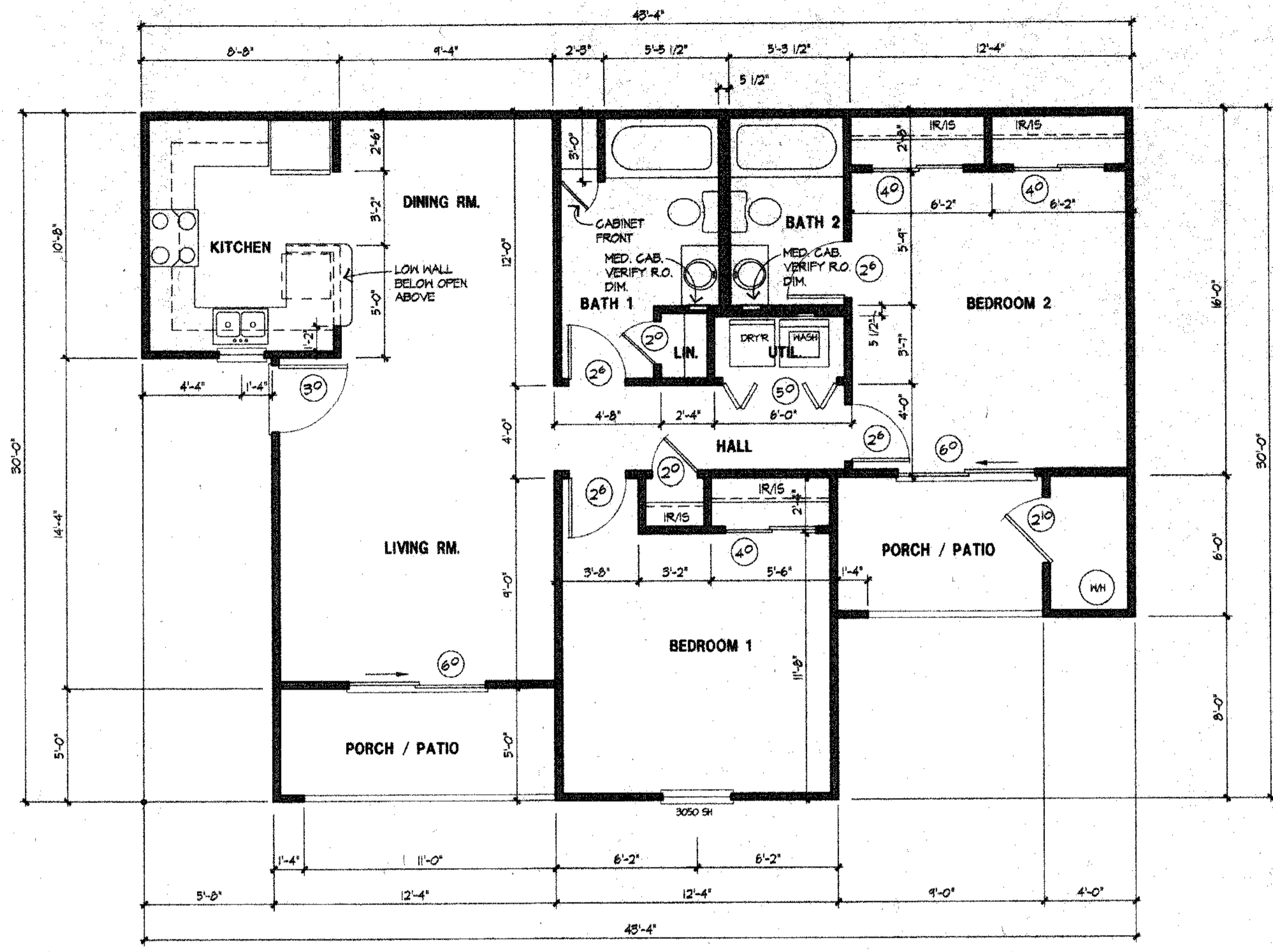
**3 UNIT TYPE I - HC ACCESSIBLE**  
1/4"=1'-0" 3 BEDROOM 2 BATH (947 S.F.)

**GENERAL NOTES**

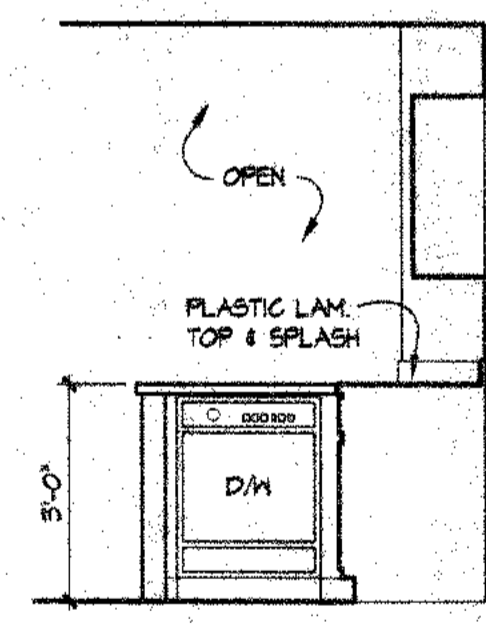
1. PROVIDE SOLID BLOCKING BETWEEN STUDS BEHIND ALL BATHTUBS, SHOWERS, TOILETS AT ALL REQUIRED EQUIPMENT AND ACCESSORY MOUNTING HEIGHTS, TO INCLUDE ACCESSIBILITY EQUIPMENT.
2. PROVIDE SOLID BLOCKING IN KITCHENS AT WALL AND BASE CABINET LOCATIONS.
3. PROVIDE SOLID BLOCKING FOR CEILING FANS IN EACH ROOM.
4. ELECTRICAL AND MECHANICAL CONTROLS AND OUTLETS ARE TO BE MOUNTED NO LOWER THAN 15" AFF AND NO HIGHER THAN 48" AFF.
5. PROVIDE (2) PEEPHOLES IN ENTRY DOORS AT 54" AFF AND 45" AFF.
6. PROVIDE LEVER HARDWARE ON ALL DOORS.
7. WINDOWS TO HAVE THERMOBREAK DESIGN FRAMES. GLAZING TO MEET REQUIREMENTS OF THE GEORGIA ENERGY CODE.
8. ALL WINDOWS TO HAVE HORIZONTAL WHITE BLINDS.
9. EXTERIOR WALL TO HAVE MIN R-13 INSULATION. ATTIC INSULATION TO BE MIN. R-30.
10. PROVIDE FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL REQUIREMENTS.
11. SMOKE DETECTORS TO BE HARDWIRED AND PER CODE.
12. DRYER VENTS ARE TO BE SCHED. 10 PVC AND TO BE VENTED TO OUTSIDE.
13. TENANT SEPERATION WALLS TO BE (1) HOUR CONSTRUCTION FROM FLOOR TO ROOF DECK. REFER TO DETAILS.
14. CONTINUE 5/8" TYPE 'X' GYPSUM BOARD DOWN BEHIND TUBS/SHOWERS ENCLOSURES AT COMMON WALLS.



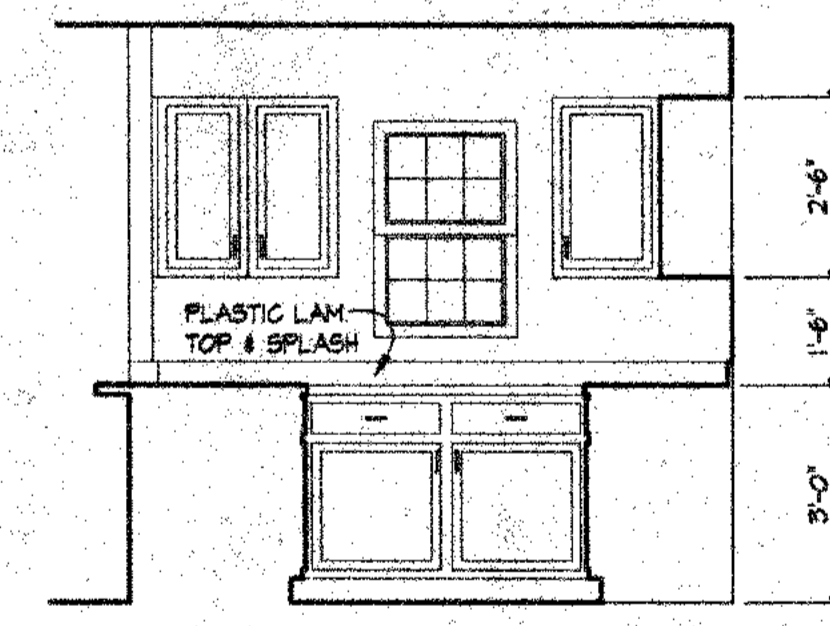
**1 UNIT TYPE II - FIRST FLOOR**  
 1/4"=1'-0"  
 3 BEDROOM 2 BATH (947 S.F.)



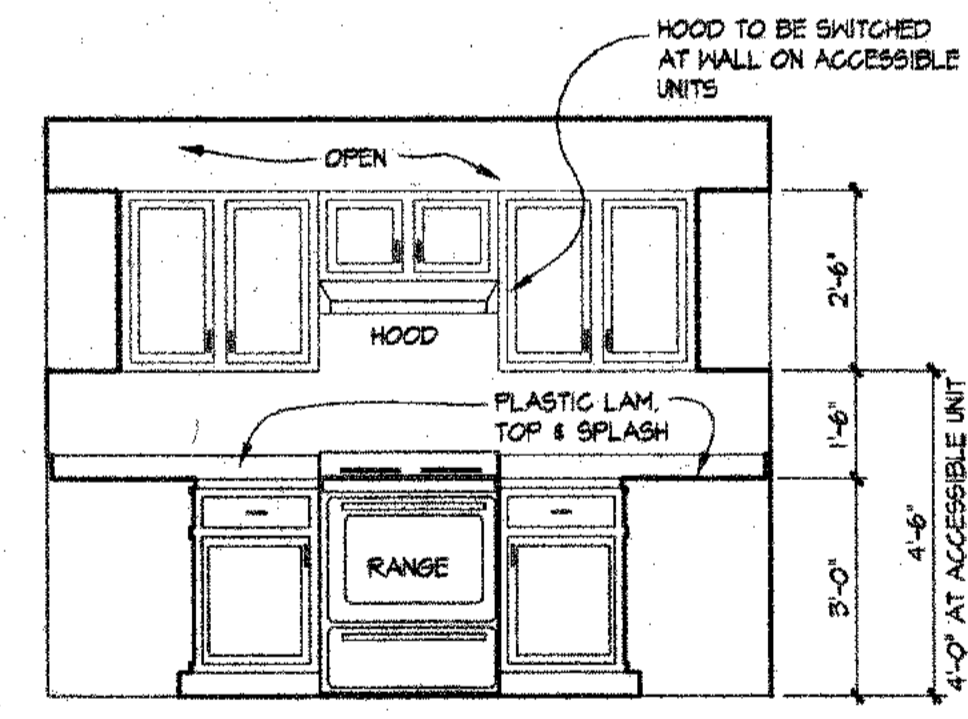
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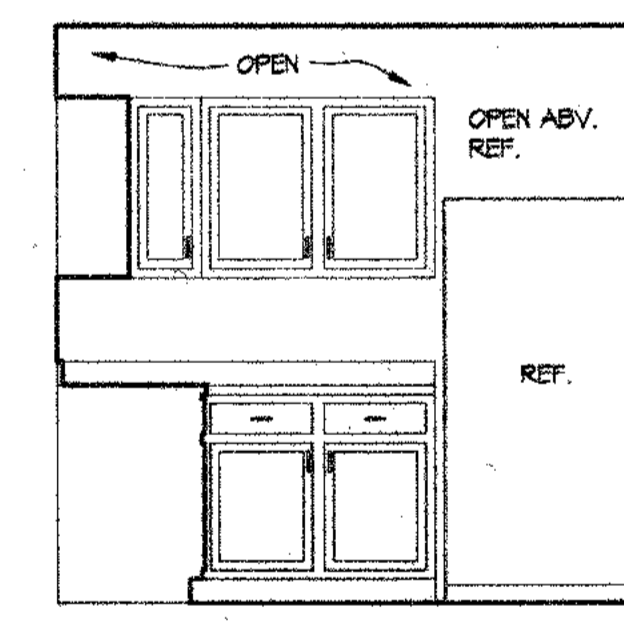
**3 KITCHEN CABINET**  
 3/8"=1'-0"



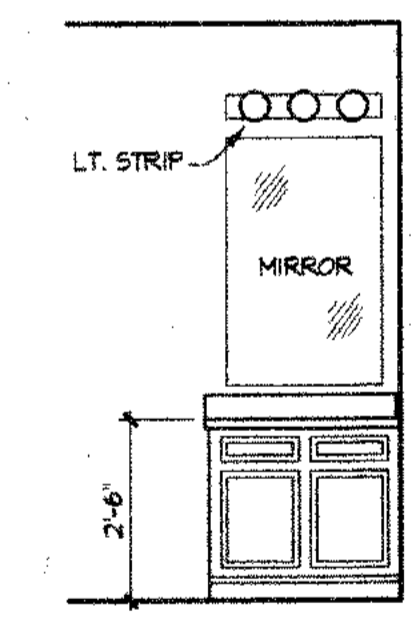
**4 KITCHEN CABINET**  
 3/8"=1'-0"



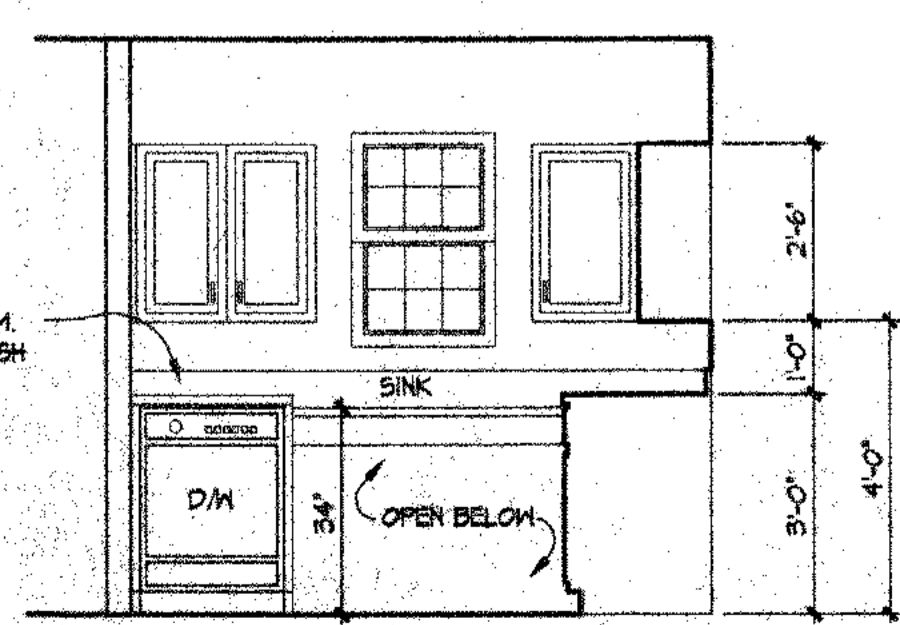
**5 KITCHEN CABINET**  
 3/8"=1'-0"



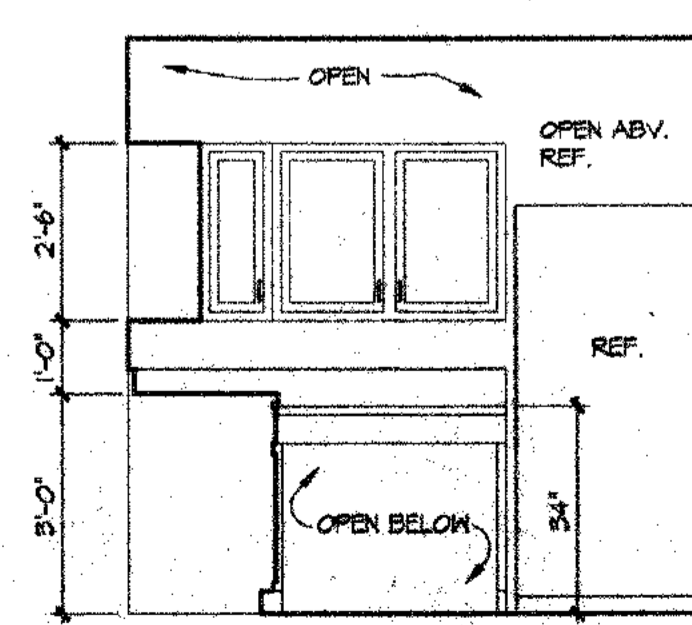
**6 KITCHEN CABINET**  
 3/8"=1'-0"



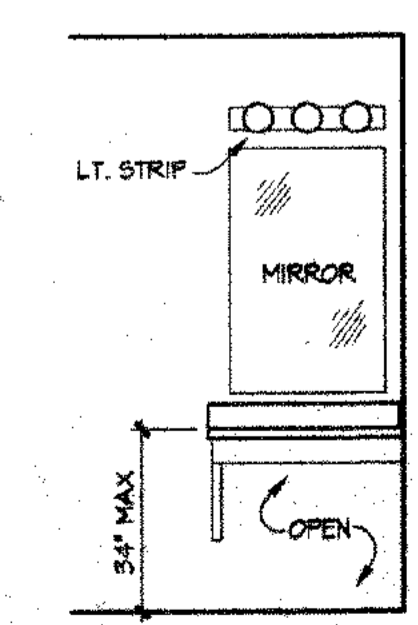
**7 BATHROOM**  
 3/8"=1'-0"



**8 KITCHEN CABINET**  
 3/8"=1'-0" ACCESSIBLE UNIT



**9 KITCHEN CABINET**  
 3/8"=1'-0" ACCESSIBLE UNIT

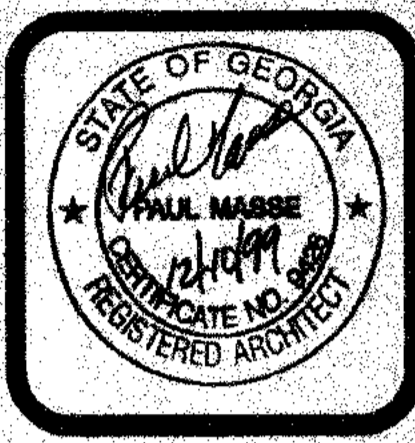


**10 BATHROOM**  
 3/8"=1'-0" ACCESSIBLE UNIT

**GENERAL NOTES**

1. PROVIDE SOLID BLOCKING BETWEEN STUDS BEHIND ALL BATHTUBS, SHOWERS, TOILETS AND AT ALL REQUIRED EQUIPMENT AND ACCESSORY MOUNTING HEIGHTS, TO INCLUDE ACCESSIBILITY EQUIPMENT.
2. PROVIDE SOLID BLOCKING IN KITCHENS AT WALL AND BASE CABINET LOCATIONS.
3. PROVIDE SOLID BLOCKING FOR CEILING FANS IN EACH ROOM.
4. ELECTRICAL AND MECHANICAL CONTROLS AND OUTLETS ARE TO BE MOUNTED NO LOWER THAN 15" AFF AND NO HIGHER THAN 48" AFF.
5. PROVIDE (2) PEEPHOLES IN ENTRY DOORS AT 54" AFF AND 48" AFF.
6. PROVIDE LEVER HARDWARE ON ALL DOORS.
7. WINDOWS TO HAVE THERMOBREAK DESIGN FRAMES. GLAZING TO MEET REQUIREMENTS OF THE GEORGIA ENERGY CODE.
8. ALL WINDOWS TO HAVE HORIZONTAL WHITE MINI BLINDS.
9. EXTERIOR WALL TO HAVE MIN R-13 INSULATION. ATTIC INSULATION TO BE MIN. R-30.
10. PROVIDE FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL REQUIREMENTS.
11. SMOKE DETECTORS TO BE HARDWIRED AND PER CODE.
12. DRYER VENTS ARE TO BE SCHED. 10 PVC AND TO BE VENTED TO OUTSIDE.
13. TENANT SEPERATION WALLS TO BE (1) HOUR CONSTRUCTION FROM FLOOR TO ROOF DECK. REFER TO DETAILS.
14. CONTINUE 5/8" TYPE 'X' GYPSUM BOARD DOWN BEHIND TUBS/SHOWERS ENCLOSURES AT COMMON WALLS.

REVISIONS	DATE

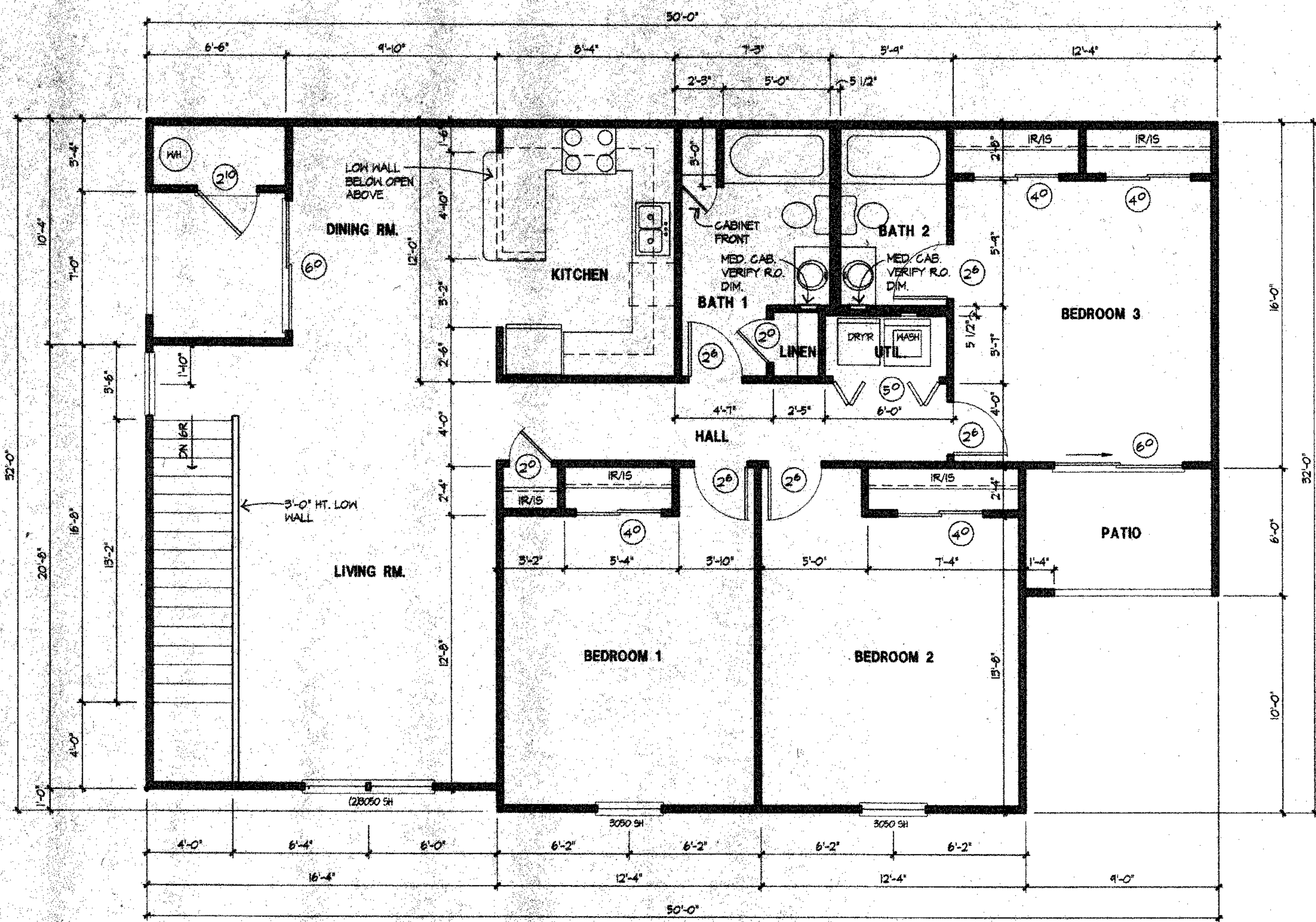


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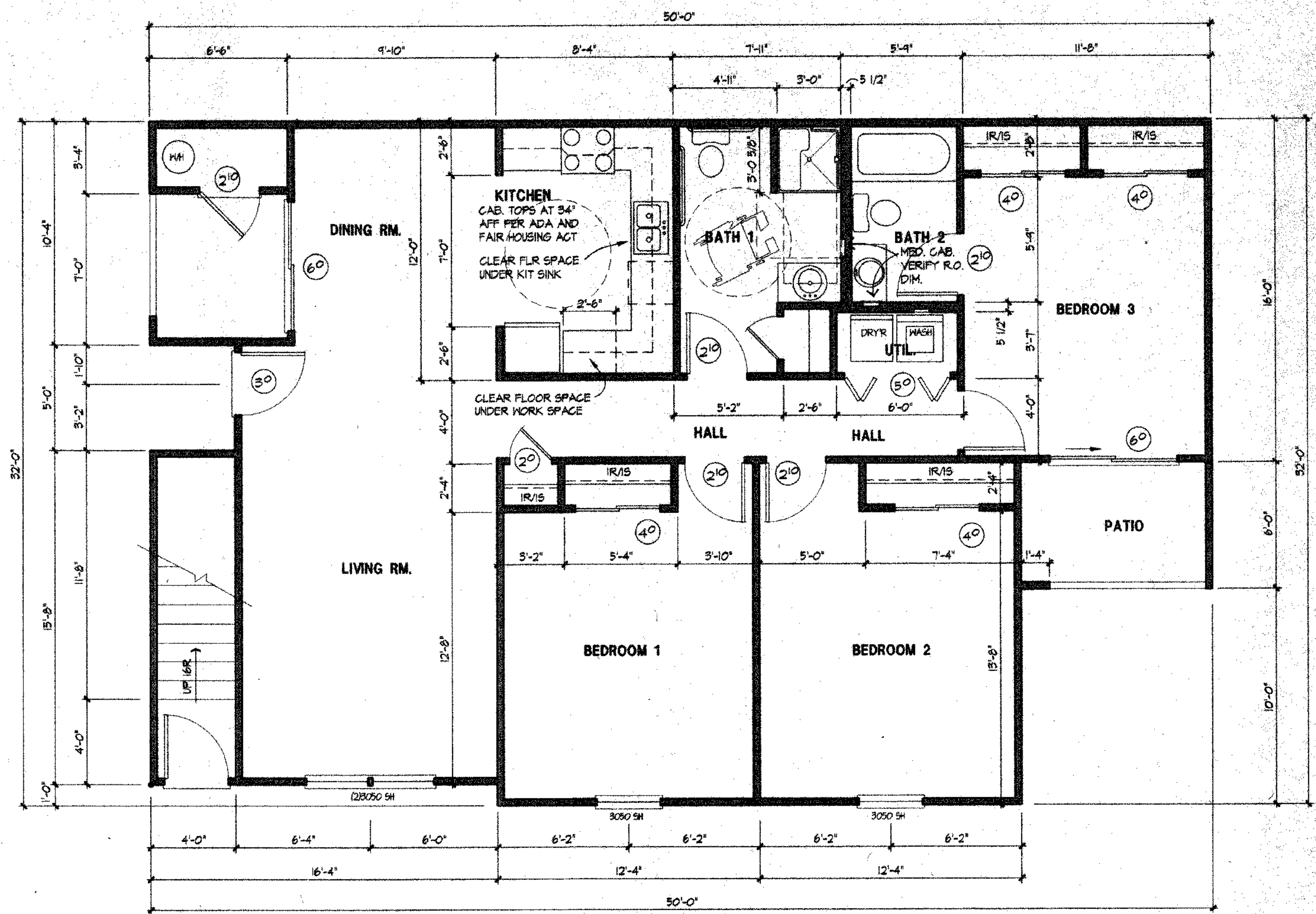
**DALTON FLATS**  
 Dawville Road  
 Dalton, Georgia

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DATE
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SCALE
AS NOTED
JOB NUMBER

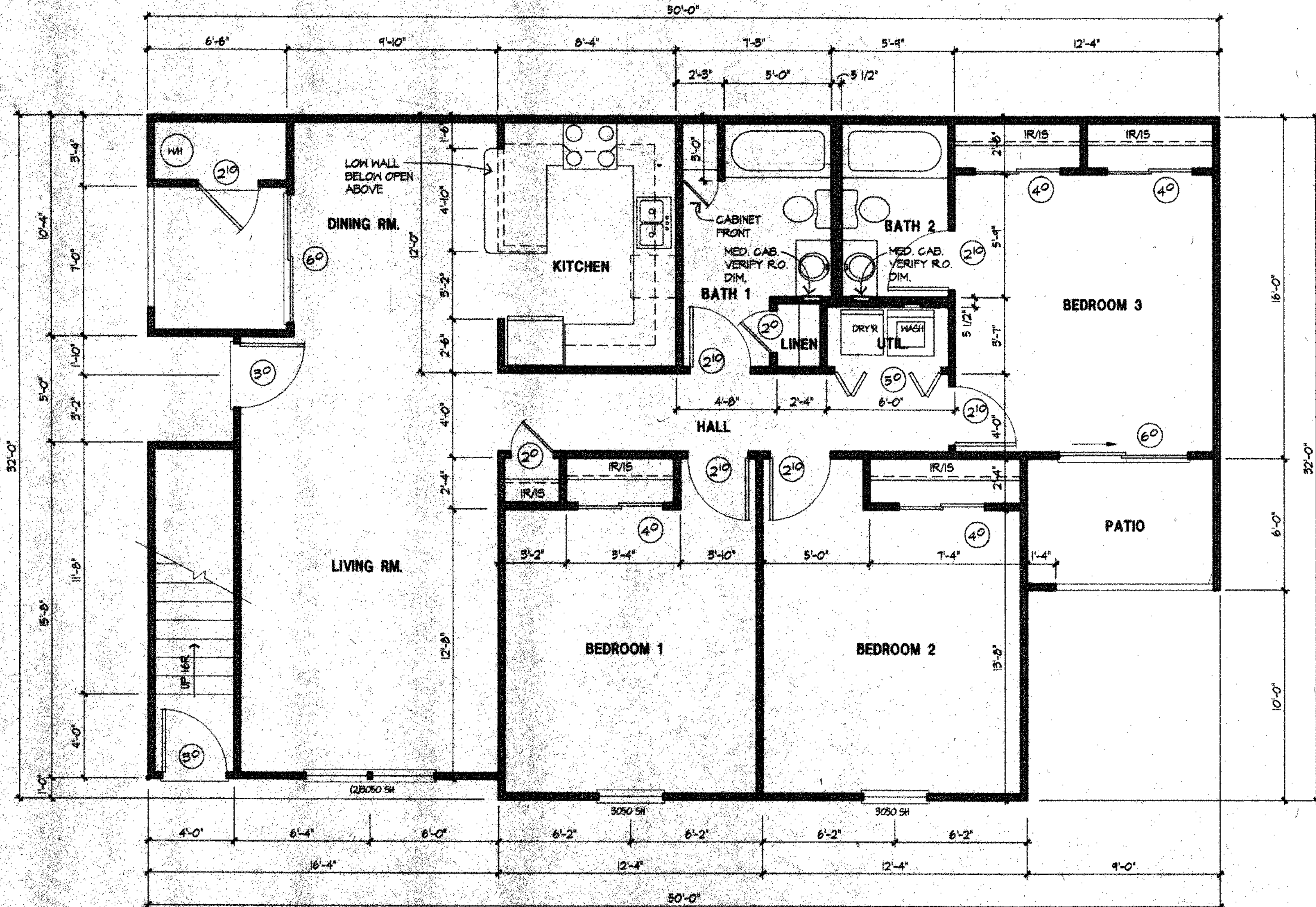
SHEET NO.  
**A-4**



**2 UNIT TYPE III - SECOND FLOOR**  
 1/4"=1'-0"  
 4 BEDROOM 2 BATH (1290 S.F.)



**3 UNIT TYPE III - HC ACCESSIBLE**  
 1/4"=1'-0"  
 4 BEDROOM 2 BATH (1290 S.F.)

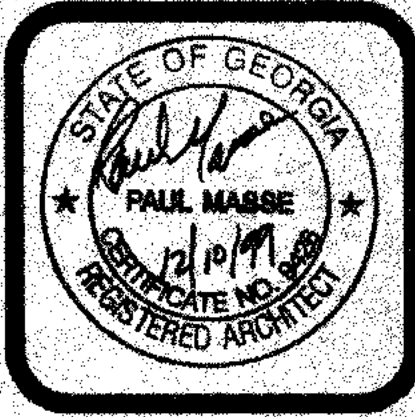


**1 UNIT TYPE III - FIRST FLOOR**  
 1/4"=1'-0"  
 4 BEDROOM 2 BATH (1290 S.F.)

**GENERAL NOTES**

1. PROVIDE SOLID BLOCKING BETWEEN STUDS BEHIND ALL BATHTUBS, SHOWERS, TOILETS AND AT ALL REQUIRED EQUIPMENT AND ACCESSORY MOUNTING HEIGHTS, TO INCLUDE ACCESSIBILITY EQUIPMENT.
2. PROVIDE SOLID BLOCKING IN KITCHENS AT WALL AND BASE CABINET LOCATIONS.
3. PROVIDE SOLID BLOCKING FOR CEILING FANS IN EACH ROOM.
4. ELECTRICAL AND MECHANICAL CONTROLS AND OUTLETS ARE TO BE MOUNTED NO LOWER THAN 15" AFF AND NO HIGHER THAN 48" AFF.
5. PROVIDE (2) PEEPHOLES IN ENTRY DOORS AT 54" AFF AND 45" AFF.
6. PROVIDE LEVER HARDWARE ON ALL DOORS.
7. WINDOWS TO HAVE THERMOBREAK DESIGN FRAMES. GLAZING TO MEET REQUIREMENTS OF THE GEORGIA ENERGY CODE.
8. ALL WINDOWS TO HAVE HORIZONTAL WHITE MINI BLINDS.
9. EXTERIOR WALL TO HAVE MIN R-13 INSULATION. ATTIC INSULATION TO BE MIN. R-30.
10. PROVIDE FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL REQUIREMENTS.
11. SMOKE DETECTORS TO BE HARDWIRED AND PER CODE.
12. DRYER VENTS ARE TO BE SCHED. 10 PVC AND TO BE VENTED TO OUTSIDE.
13. TENANT SEPERATION WALLS TO BE (1) HOUR CONSTRUCTION FROM FLOOR TO ROOF DECK. REFER TO DETAILS.
14. CONTINUE 5/8" TYPE "X" GYPSUM BOARD DOWN BEHIND TUBS/SHOWERS ENCLOSURES AT COMMON WALLS.

REVISIONS	DATE

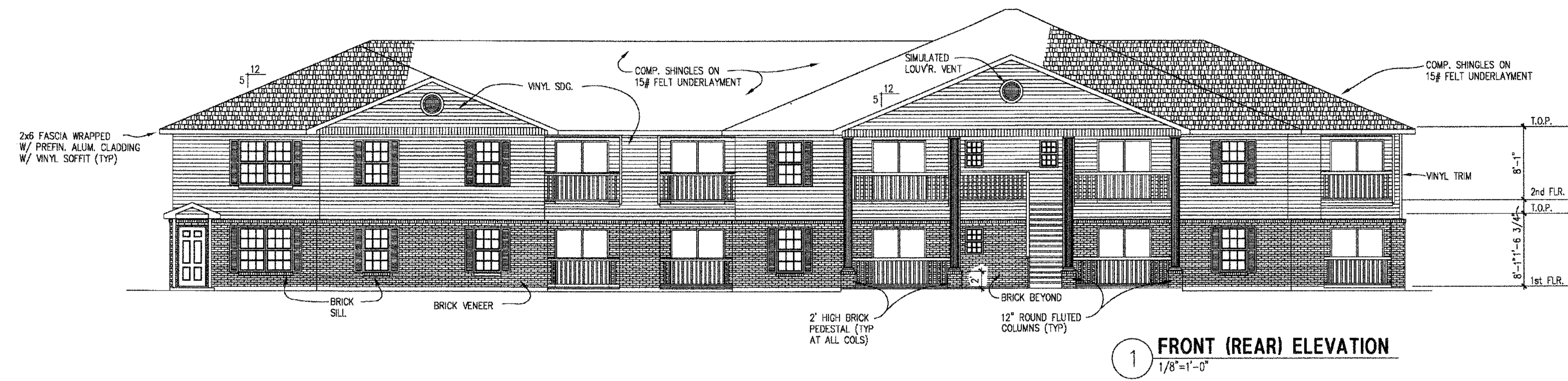


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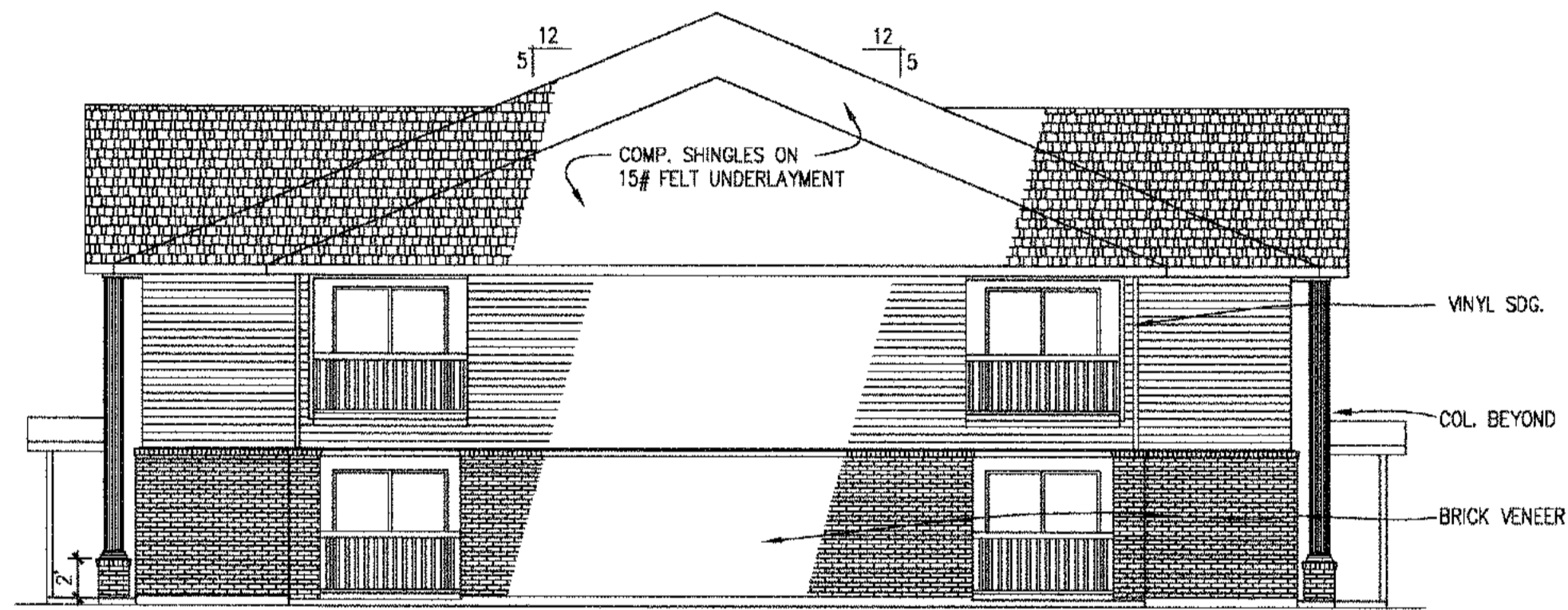
**DALTON FLATS**  
 Dawnville Road  
 Dalton, Georgia

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AS NOTED
JOB NUMBER

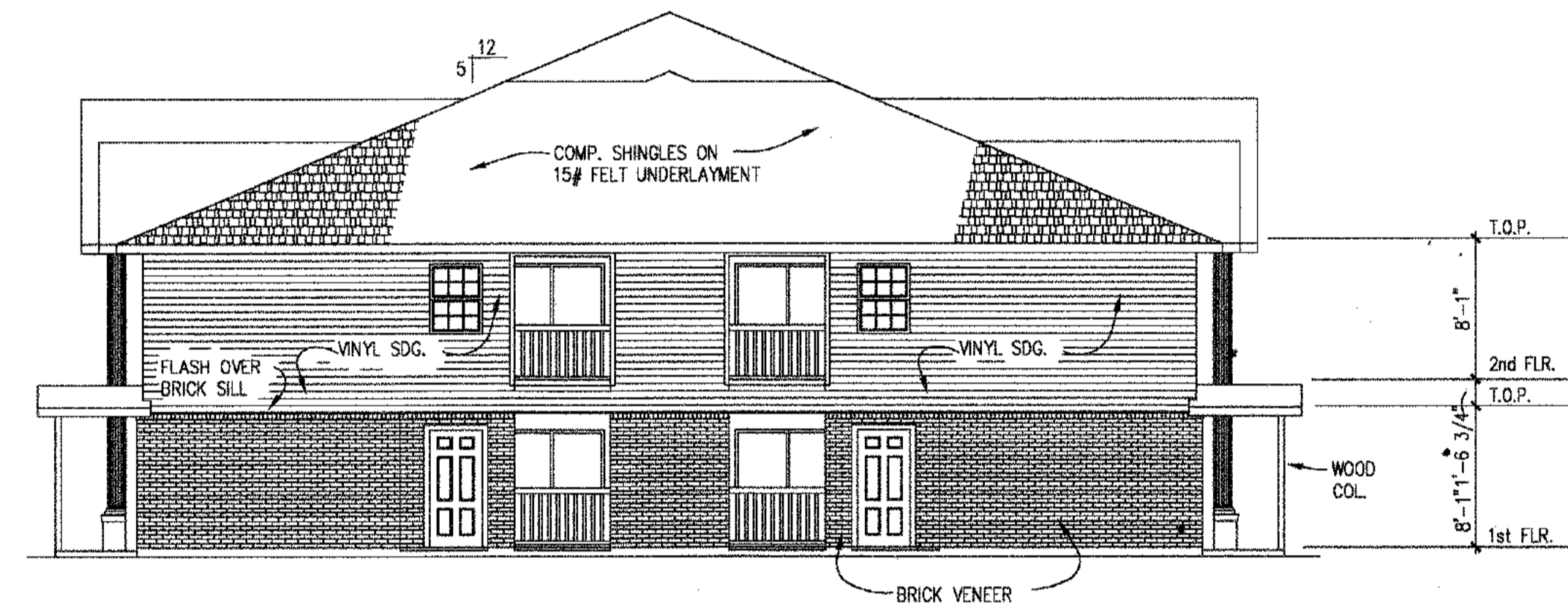
SHEET NO.  
**A-5**



1 FRONT (REAR) ELEVATION  
1/8"=1'-0"



2 SIDE ELEVATION  
1/8"=1'-0"



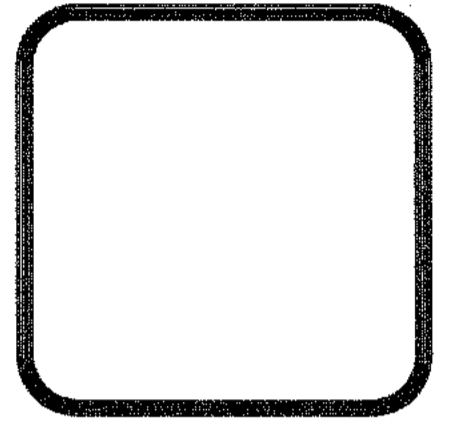
3 SIDE ELEVATION  
1/8"=1'-0"

**GENERAL NOTES**

1. SIDING TO BE "VINYL" OVER TYVEK OR EQUAL BUILDING WRAP. SHEATHING TO BE 7/16" OSB THROUGHOUT.
2. ALL SOFFITS TO BE VINYL W/ VENTS. FASCIAS TO BE WOOD WRAPPED WITH PREFINISHED ALUMINUM.
3. PREFINISHED ALUMINUM GUTTERS TO BE INSTALL AT ALL HIPPED ROOFS. CONCRETE SPLASH BLOCKS TO BE INSTALLED AT EACH GUTTER.
4. EXTERIOR DOORS TO BE 1 3/4" INSULATED METAL. PROVIDE (2) PEEPHOLES IN ENTRY DOORS AT 54" AFF AND 45" AFF.
5. WINDOWS TO HAVE THERMOBREAK DESIGN FRAMES. GLAZING TO MEET REQUIREMENTS OF THE GEORGIA ENERGY CODE.
6. EXTERIOR WALL TO HAVE MIN R-13 INSULATION. ATTIC INSULATION TO BE MIN. R-30.
7. PROVIDE FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL REQUIREMENTS.
8. EXTERIOR STAIRS TO BE PREFABRICATED METAL STAIRS AND TREADS. RISERS TO BE CLOSED.
9. ROOFING TO BE 25 YEAR "ARCHITECTURAL", INSTALLED OVER 15lb FELT UNDERLAYMENT.
10. TENANT SEPERATION WALLS TO BE (1) HOUR CONSTRUCTION FROM FLOOR TO ROOF DECK. REFER TO DETAILS.

- △ REVISED 02/18/00
- △ REVISED 04/12/00
- △ REVISED 06/03/00

REVISIONS	DATE

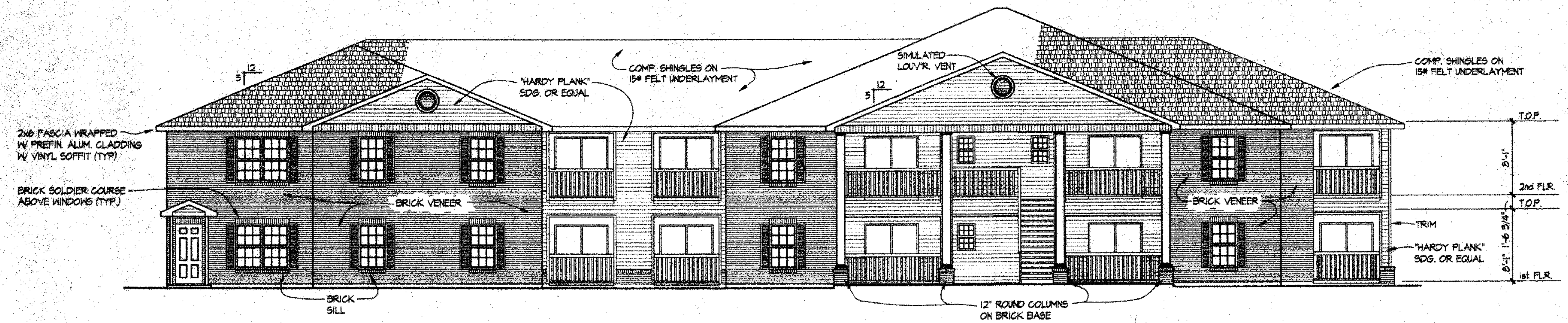


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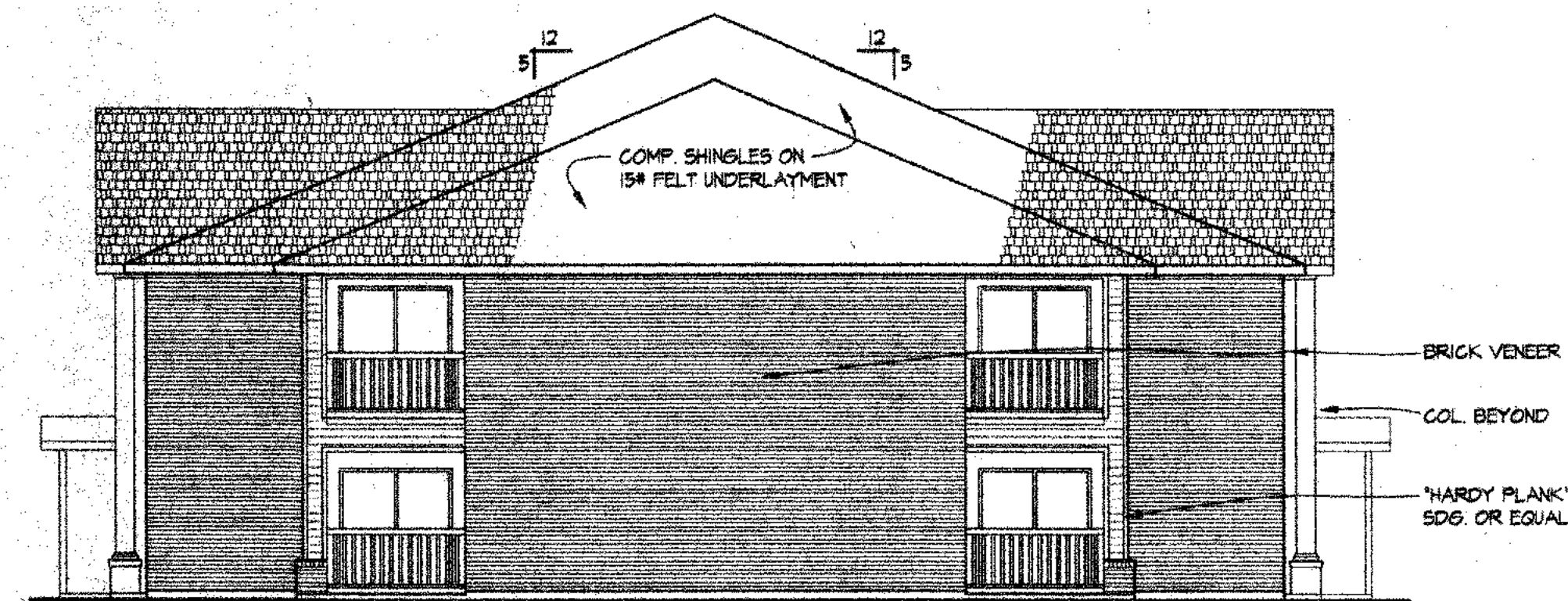
**DALTON FLATS**  
Dawnville Road  
Dalton, Georgia

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DATE 12/09/99
SCALE AS NOTED
JOB NUMBER

SHEET NO.  
**A-6**  
OF



**1 FRONT (REAR) ELEVATION**  
1/8"=1'-0"



**2 SIDE ELEVATION**  
1/8"=1'-0"

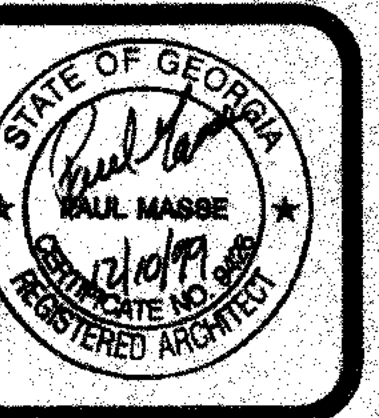


**3 SIDE ELEVATION**  
1/8"=1'-0"

**GENERAL NOTES**

1. SIDING TO BE "HARDY PLANK" OR EQUAL OVER TYVEK OR EQUAL BUILDING WRAP. SHEATHING TO BE 7/16" OSB THROUGHOUT.
2. ALL SOFFITS TO BE VINYL W/ VENTS. FASCIAS TO BE WOOD WRAPPED WITH PREFINISHED ALUMINUM.
3. PREFINISHED ALUMINUM GUTTERS TO BE INSTALL AT ALL HIPPED ROOFS. CONCRETE SPLASH BLOCKS TO BE INSTALLED AT EACH GUTTER.
4. EXTERIOR DOORS TO BE 1 3/4" INSULATED METAL. PROVIDE (2) PEEPHOLES IN ENTRY DOORS AT 54" AFF AND 45" AFF.
5. WINDOWS TO HAVE THERMOBREAK DESIGN FRAMES. GLAZING TO MEET REQUIREMENTS OF THE GEORGIA ENERGY CODE.
6. EXTERIOR WALL TO HAVE MIN R-13 INSULATION. ATTIC INSULATION TO BE MIN. R-30.
7. PROVIDE FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL REQUIREMENTS.
8. EXTERIOR STAIRS TO BE PREFABRICATED METAL STAIRS AND TREADS. RISERS TO BE CLOSED.
9. ROOFING TO BE 25 YEAR "ARCHITECTURAL", INSTALLED OVER 15# FELT UNDERLAYMENT. TENANT SEPERATION WALLS TO BE (1) HOUR CONSTRUCTION FROM FLOOR TO ROOF DECK. REFER TO DETAILS.

REVISIONS	DATE



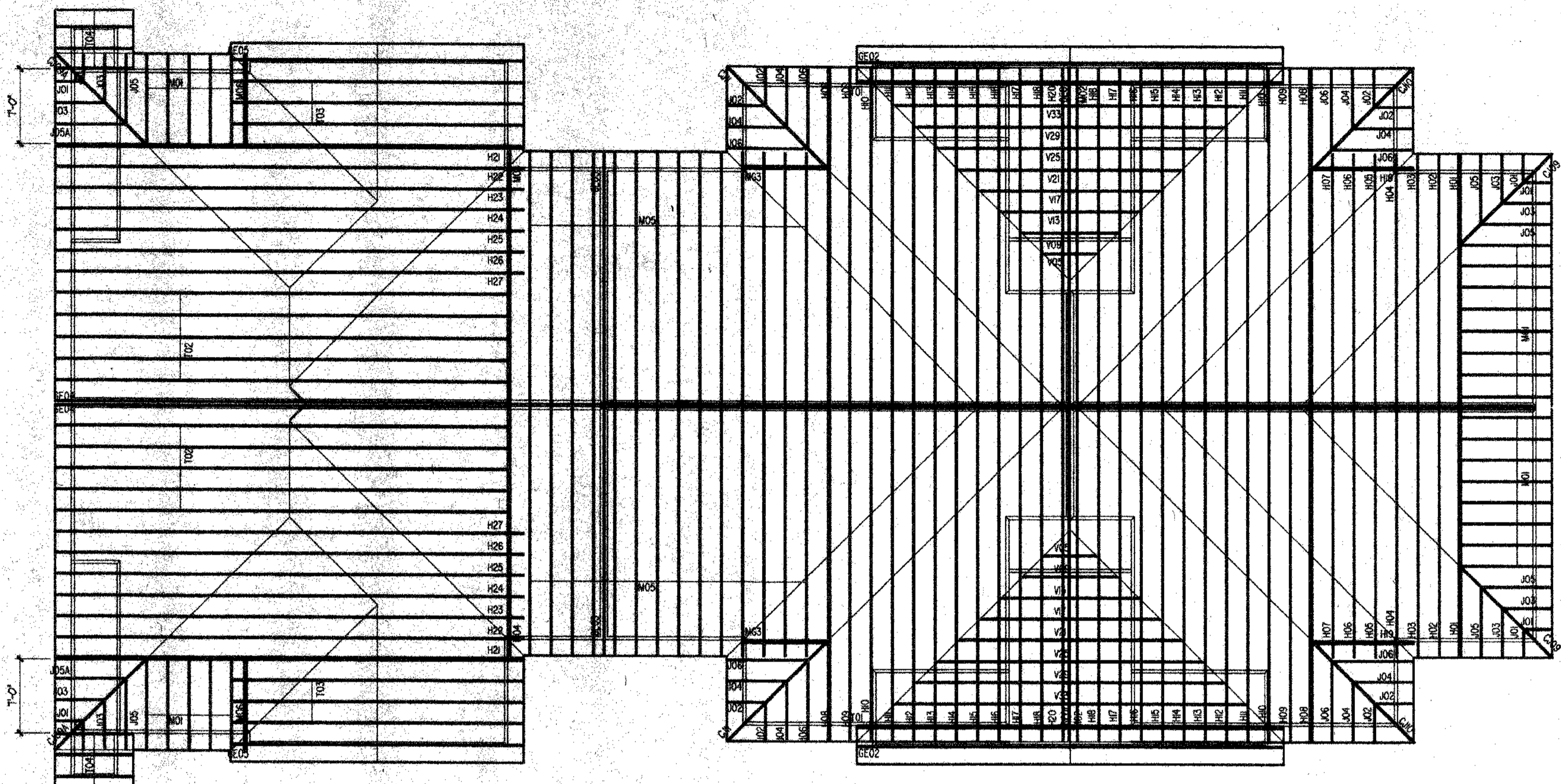
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designers & architects  
5048 City Blvd., Suite 309, Waycross, Georgia 31501

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Dawnville Road  
Dalton, Georgia

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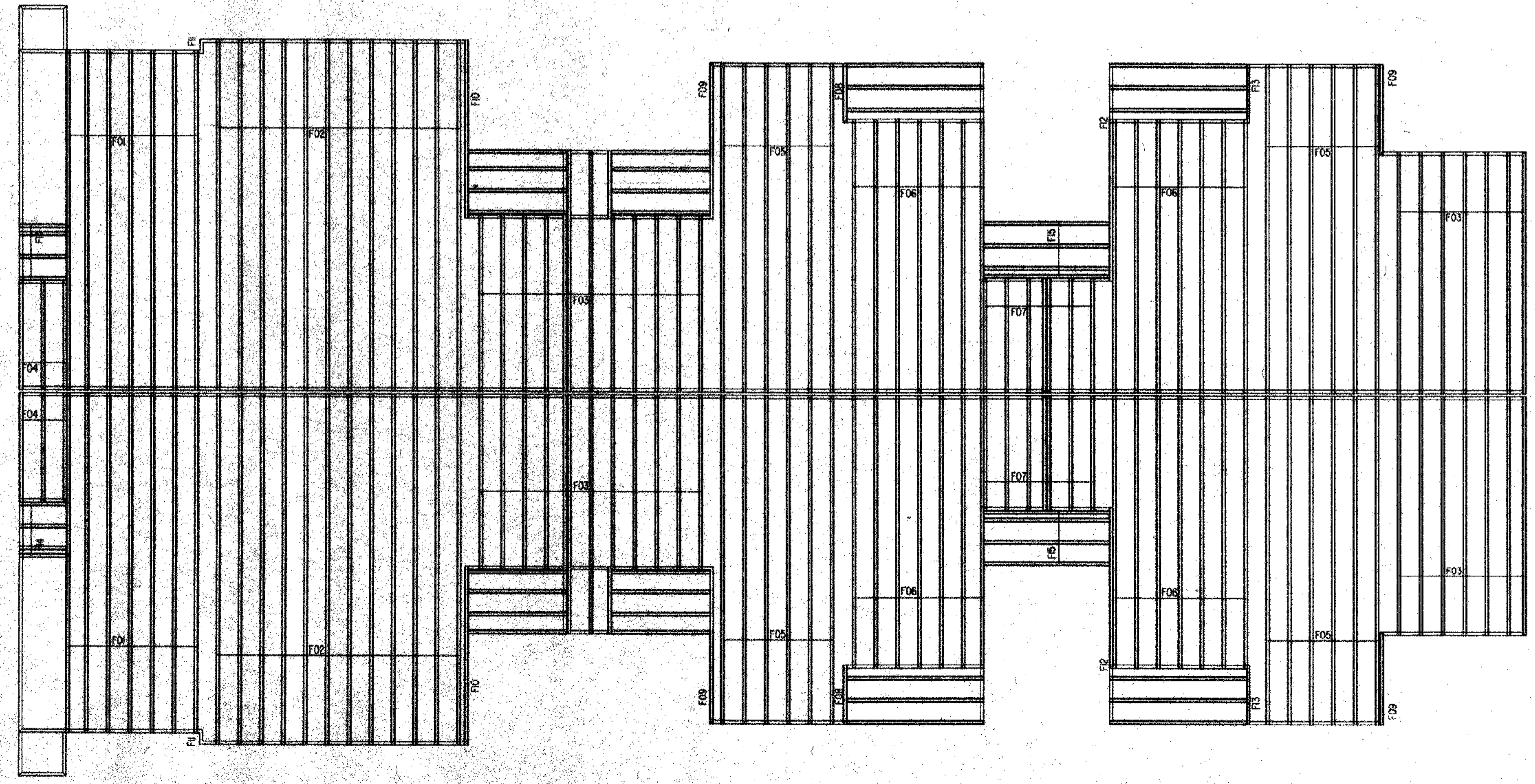
SHEET NO.  
**A-6**  
OF 1





ENGINEERED ROOF TRUSS  
INSTALL PER MANUFACTURER  
DETAILS AND SPECIFICATIONS

**1** ROOF FRAMING PLAN  
1/8"=1'-0"



ENGINEERED FLOOR TRUSS  
INSTALL PER MANUFACTURERS  
DETAILS AND SPECIFICATIONS

**2** FLOOR FRAMING PLAN  
1/8"=1'-0"

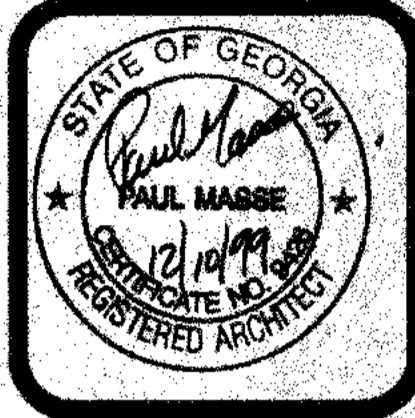
**WOOD FRAMING NOTES**

- ALL WOOD FRAMING SHALL BE #2 KD SYP. ALL FRAMING SHALL BE IN COMPLIANCE WITH THE SBCCI (94) BUILDING CODE. PROVIDE SOLID BLOCKING AT THE ENDS OF ALL JOINTS AND SOLID BRIDGING OR X-BRIDGING AT 8'-0" ON CENTER. MAXIMUM SPACING FOR FLOOR JOIST. MULTIPLE MEMBER BEAMS SHALL BE GLUED ON EACH SURFACE AND NAILED OR CONNECTED WITH 3/4"-DIAMETER MACHINE BOLTS WITH 2 BOLTS AT ENDS AND ONE BOLT AT 8' ALTERNATE CENTERS INTERMEDIATE. THE CENTER LINE OF BOLTS SHALL BE LOCATED A MINIMUM OF 3" FROM TOP, BOTTOM, AND ENDS. ALL BEAMS WITH STEEL FLITCH PLATES SHALL HAVE CONTINUOUS PLATES FOR FULL LENGTH OF BEAM WITH 1 1/8"-DIAMETER HOLES AND BOLTED TOGETHER AS NOTED ABOVE.
- ALL JOISTS HANGERS, HURRICANE ANCHORS, AND OTHER FRAMING ANCHORS SHOWN ON DRAWINGS SHALL BE SIMPSON "STRONG TIE" CONNECTORS OR EQUAL ATTACHED AS PER MANUFACTURERS NAILING SCHEDULE.
- ALL SILL PLATES SHALL BE #2 KD TREATED SYP. ALL EXTERIOR (AND INTERIOR BEARING WALL) SILL PLATES SHALL BE ATTACHED WITH 5/8"-DIAMETER MACHINE BOLTS WITH FLAT WASHERS UNDER HEAD OR NUT AT ALL BEARINGS WITH WOOD LOCATED 1'-0" MAX. FROM A CORNER OR WALL END AND SPACED AT 6'-0" O.C. INTERMEDIATE. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE.
- FLOOR DECK SHALL BE 3/4" T&G APA STRUCTURAL I 48/24 INTERIOR UNDERLAYMENT OSB WITH EXTERIOR GLUE WITH FACE GRAIN PERPENDICULAR TO FRAMING AND STAGGERED. PRIOR TO ATTACHING DECK WITH 80 DEFORMED-SHANK NAILS SPACED 12" O.C. ALONG ALL SUPPORTS. APPLY A CONTINUOUS BEAD OF AF-01 GLUE TO ALL SUPPORTS AND T&G EDGES. FLOOR SYSTEM SHALL MEET ALL REQUIREMENTS OF APA FOR GLUED FLOOR SYSTEMS.
- ROOF DECK SHALL BE 7/8" APA 32/16 C-D INTERIOR OSB WITH EXTERIOR GLUE WITH FACE GRAIN PERPENDICULAR TO FRAMING AND STAGGERED. ATTACH DECK WITH 80 DEFORMED-SHANK NAILS AT 6" O.C. ALONG SUPPORTED ENDS AND AT 12" O.C. ALONG INTERIOR SUPPORTS. ROOF SYSTEM SHALL MEET ALL REQUIREMENTS OF APA FOR PLYWOOD ROOF SYSTEMS.
- PLYWOOD SHEAR WALLS WHERE INDICATED ON PLANS, SHALL BE 1/2" C-D APA INT-EXT GLUE PLYWOOD. PROVIDE 3X4 BLOCKING AT PANEL EDGES WHERE FRAMING DOES NOT OCCUR. PLYWOOD SHALL BE ATTACHED DIRECTLY TO FRAMING WITH 100 COMMON NAILS. SHEAR WALLS SHALL BE AS FOLLOWS:  
FIRST FLOOR, I.e., SW-A1, SW-C1, ETC.:  
3X6 SILL PLATE (TREATED), LOWER TOP PLATE AND INTERMEDIATE STUDS AT 24" O.C.; NAILING PLYWOOD AT 3" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.  
SECOND FLOOR, I.e., SW-A2, SW-B2, ETC.:  
2X4 SILL PLATE, TOP PLATES AND INTERMEDIATE STUDS AT 24" O.C.; NAILING PLYWOOD AT 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.  
SEE PLANS AND DETAILS FOR ADDITIONAL INFORMATION. WALL SYSTEM SHALL MEET ALL REQUIREMENTS OF APA FOR PLYWOOD WALL SYSTEMS.

**WOOD TRUSS NOTES**

- ALL WOOD TRUSSES SHALL BE SHOP FABRICATED BY A TRUSS MANUFACTURER WITH A MINIMUM OF 10 YEARS EXPERIENCE IN ACCORDANCE WITH DESIGNS PREPARED BY THEIR ENGINEER. TRUSS CONFIGURATIONS, MEMBER AND COMPONENT SIZES SHOWN ON ARCHITECTURAL/ENGINEERING PLANS FOR THE BUILDING STRUCTURE ARE FOR CONCEPT ONLY. COMPLETE DESIGN OF WOOD TRUSSES, INCLUDING ALL BRACING AND ACCESSORIES, IS THE RESPONSIBILITY OF THE TRUSS MANUFACTURER. TRUSS DESIGNS CONFORMING WITH DESIGN LOAD AND DEFLECTION CRITERIA CONTAINED IN THE GENERAL NOTES SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE FABRICATION. THEY SHALL BEAR THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA. TRUSS PLACEMENT DIAGRAMS SHALL BE PREPARED BY THE TRUSS MANUFACTURER AND PRESENTED TO THE ARCHITECT FOR APPROVAL. THE DIAGRAMS SHALL SHOW ALL TRUSS-TO-TRUSS CONNECTIONS AND THE LOCATIONS OF ALL CONTINUOUS LATERAL BRACING MEMBER REQUIRED BY THE TRUSS DESIGNS AND SHALL BE ENCODED TO INDICATE TRUSS DESIGN LOCATIONS ON THE FRAMING PLAN.
- DESIGN STANDARDS SHALL CONFORM WITH THE APPLICABLE PROVISIONS OF "GENERAL NOTES", "WOOD FRAMING NOTES", "THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION, AND "THE DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES", PUBLISHED BY THE TRUSS PLATE INSTITUTE.
- ALL TRUSS CONNECTOR PLATES SHALL BE A MINIMUM THICKNESS OF 0.036" AND SHALL BE MANUFACTURED FROM STEEL MEETING THE REQUIREMENTS OF ASTM A446 GRADE A OR A HIGHER GRADE WHEN REQUIRED BY TRUSS DESIGN, AND SHALL BE HOT DIPPED GALVANIZED ACCORDING TO ASTM A525, COATING DESIGNATION 660.
- LUMBER CHARACTERISTICS SUCH AS WANE OR KNOTS OCCURRING IN THE CONNECTOR PLATE AREA MUST NOT AFFECT MORE THAN 10 PERCENT OF REQUIRED PLATE AREA OR NUMBER OF EFFECTIVE TEETH REQUIRED FOR EACH TRUSS MEMBER. CONNECTOR PLATES SHALL BE APPLIED TO BOTH FACES OF TRUSS AT EACH JOINT AND SHOULD PROVIDE FIRM, EVEN CONTACT BETWEEN THE PLATE AND THE WOOD. ALL WOOD MEMBERS SHALL BE ACCURATELY CUT AND FABRICATED SO THAT ALL TRUSS UNITS ARE UNIFORM. SEE "TRUSS PLATE INSTITUTE QUALITY STANDARD FOR METAL PLATE CONNECTED WOOD TRUSSES QST-88" FOR TOLERANCE AND OTHER SPECIAL REQUIREMENTS.
- ALL TRUSSES MUST BE SECURELY BRACED BOTH DURING ERECTION AND AFTER PERMANENT INSTALLATION IN A BUILDING IN ACCORDANCE WITH "COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING & BRACING METAL PLATE CONNECTED WOOD TRUSSES HB-9" AS PUBLISHED BY THE TRUSS PLATE INSTITUTE. ERECTION BRACING SHALL HOLD TRUSSES STRAIGHT AND PLUMB AND IN SAFE CONDITION UNTIL DECKING AND PERMANENT TRUSS BRACING HAS BEEN FASTENED FORMING STRUCTURALLY SOUND FLOOR AND ROOF FRAMING SYSTEMS. ALL ERECTION AND PERMANENT BRACING SHALL BE INSTALLED AND ALL TRUSSES PERMANENTLY FASTENED BEFORE APPLICATION OF ANY LOADS. PERMANENT STRUCTURAL CROSS-BRACING TO ENSURE OVERALL RIGIDITY OF THE ROOF SYSTEM SHALL BE IN ACCORDANCE WITH THE TRUSS DESIGN DRAWINGS. MATERIALS USED IN BRACING ARE TO BE FURNISHED BY THE ERECTION CONTRACTOR IN ACCORDANCE WITH THE TRUSS DESIGN DRAWINGS. SAFE ERECTION OF THE TRUSSES IS THE RESPONSIBILITY OF THE BUILDING CONTRACTOR.
- TRUSS MANUFACTURERS SHALL PROVIDE WRITTEN EVIDENCE OF APPROVAL OF THEIR PRODUCT BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS (ICBO).

REVISIONS	DATE

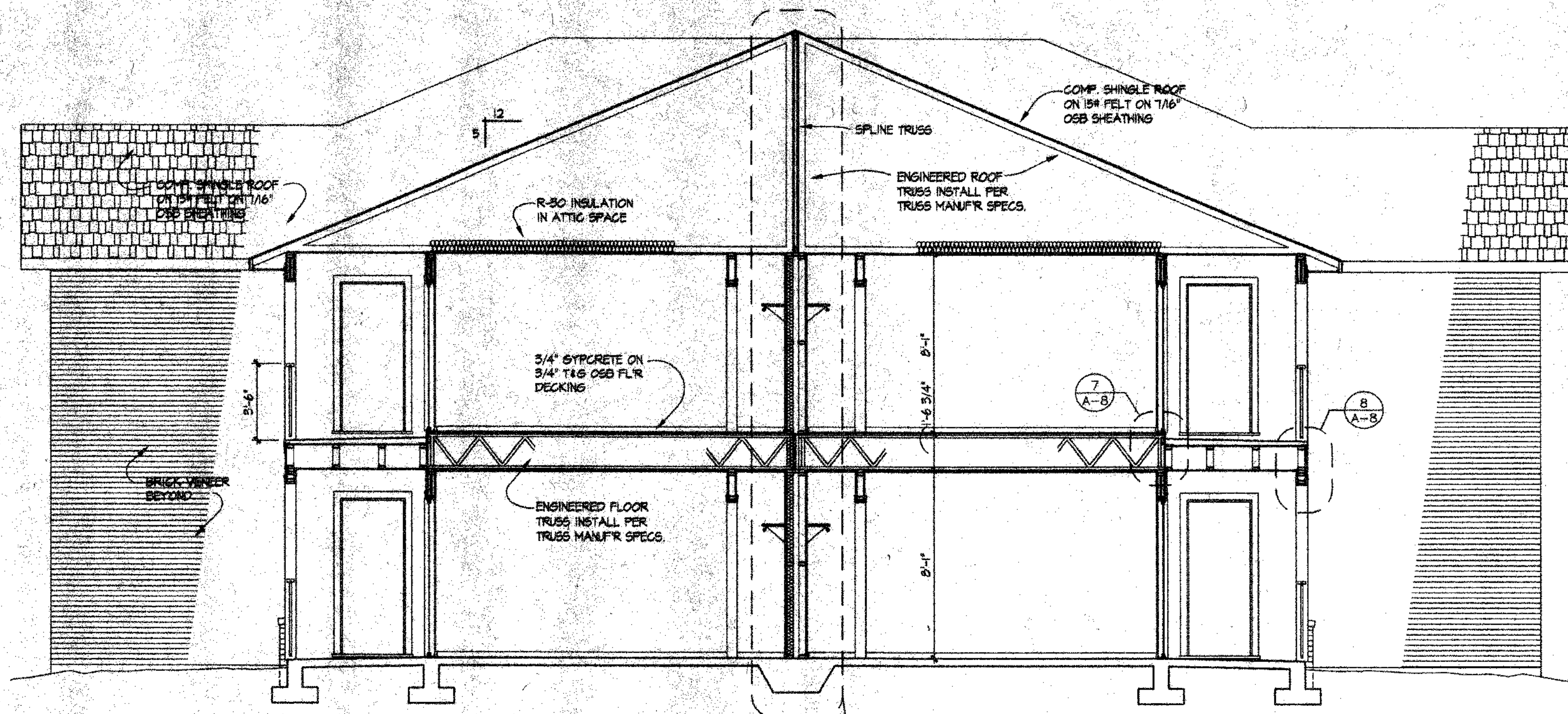


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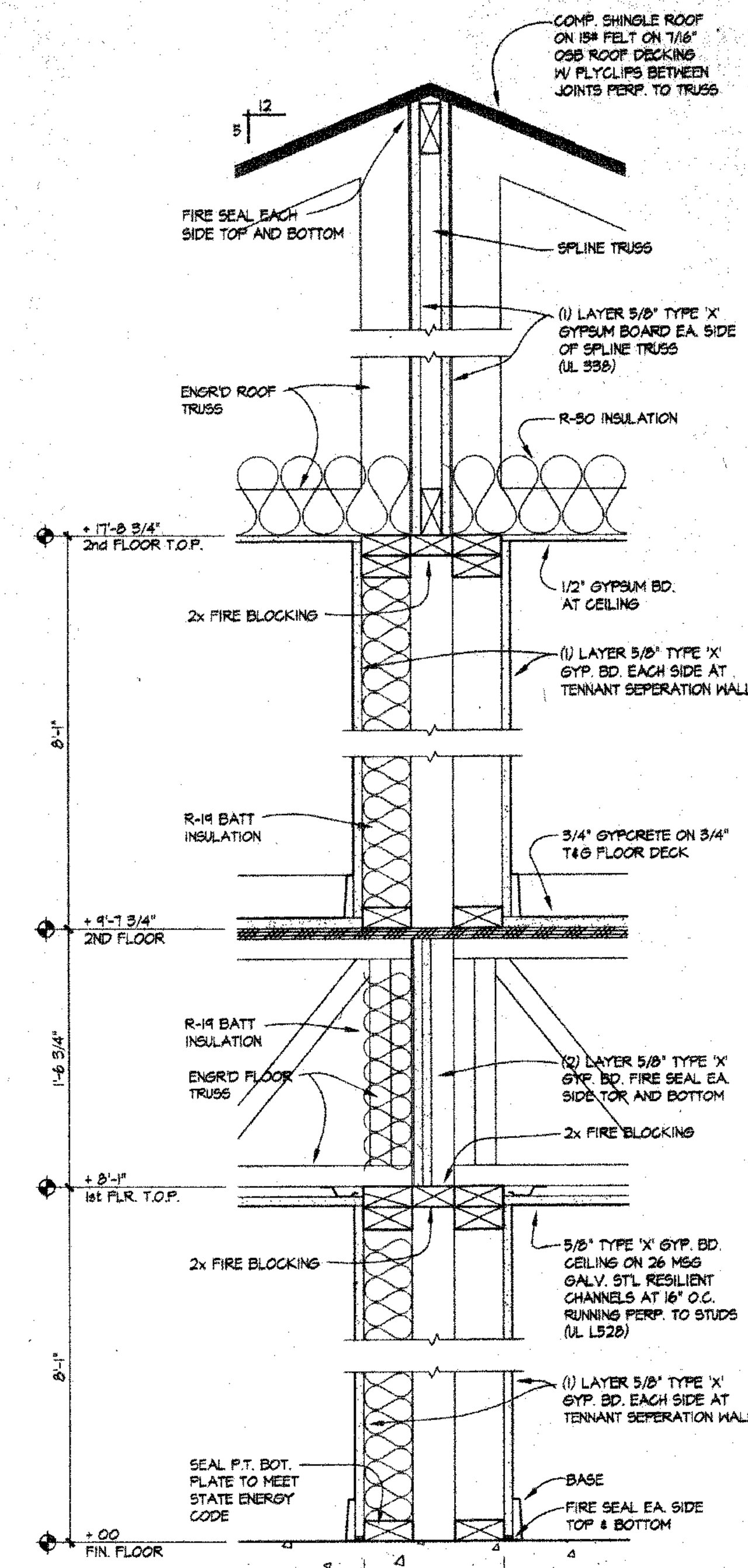
**DALTON FLATS**  
Dawville Road  
Dalton, Georgia

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DATE  
12/09/11  
SCALE  
AS NOTED  
JOB NUMBER

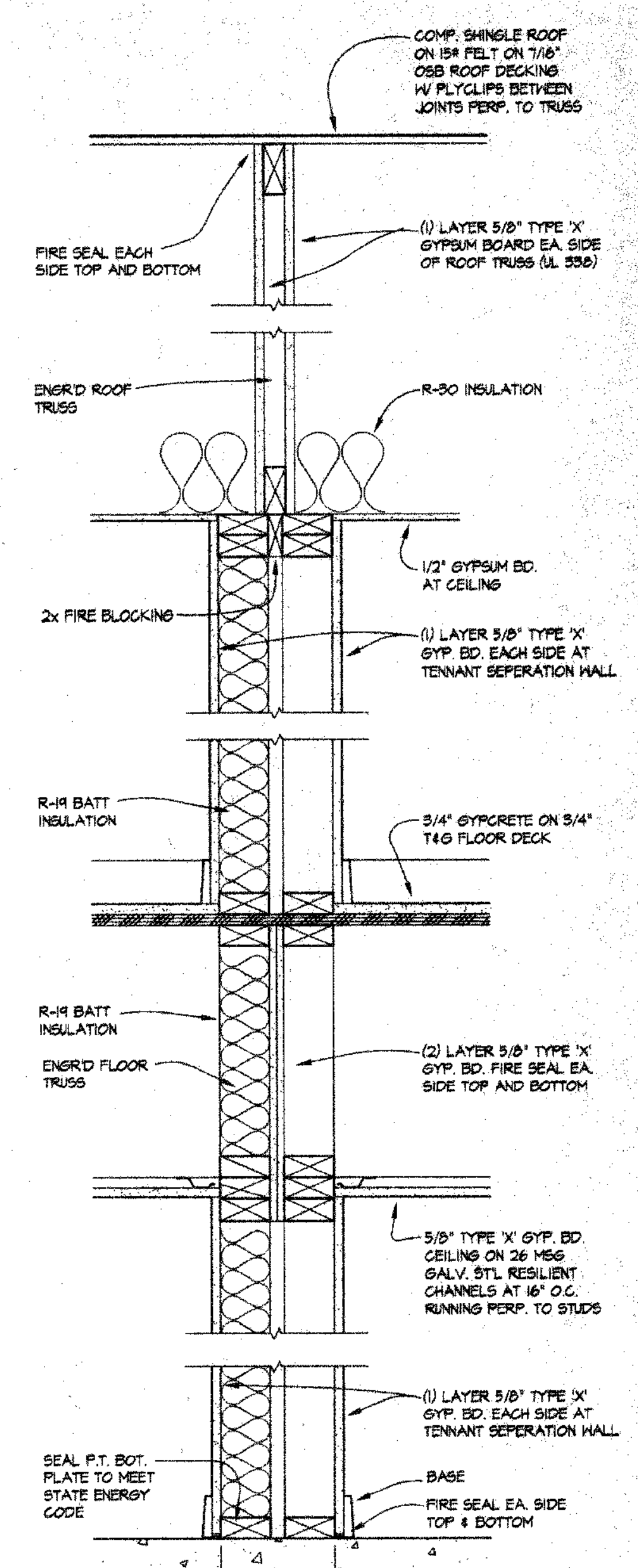
SHEET NO.  
**A-7**  
OF



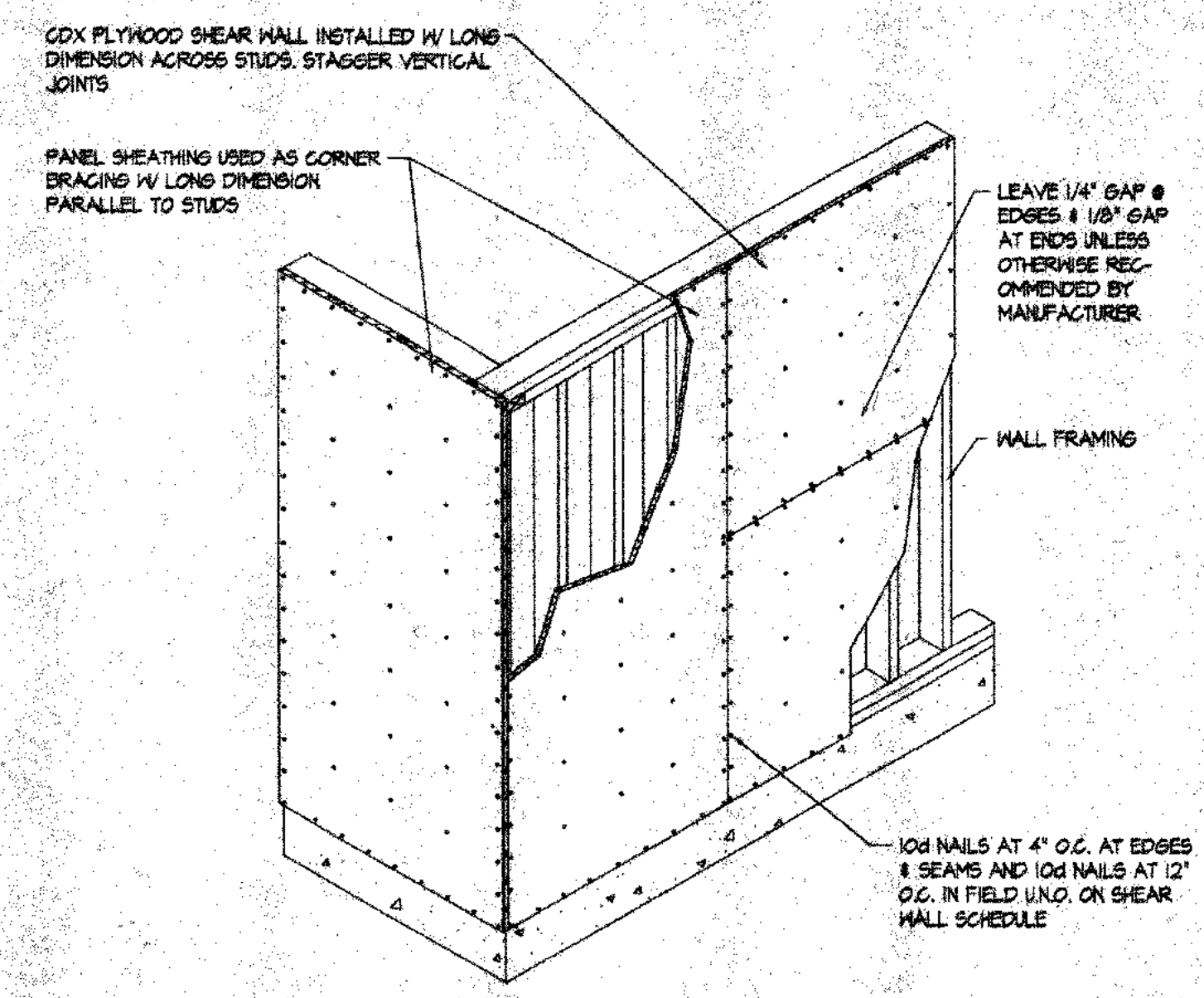
**1 BUILDING SECTION**  
1/4"=1'-0"



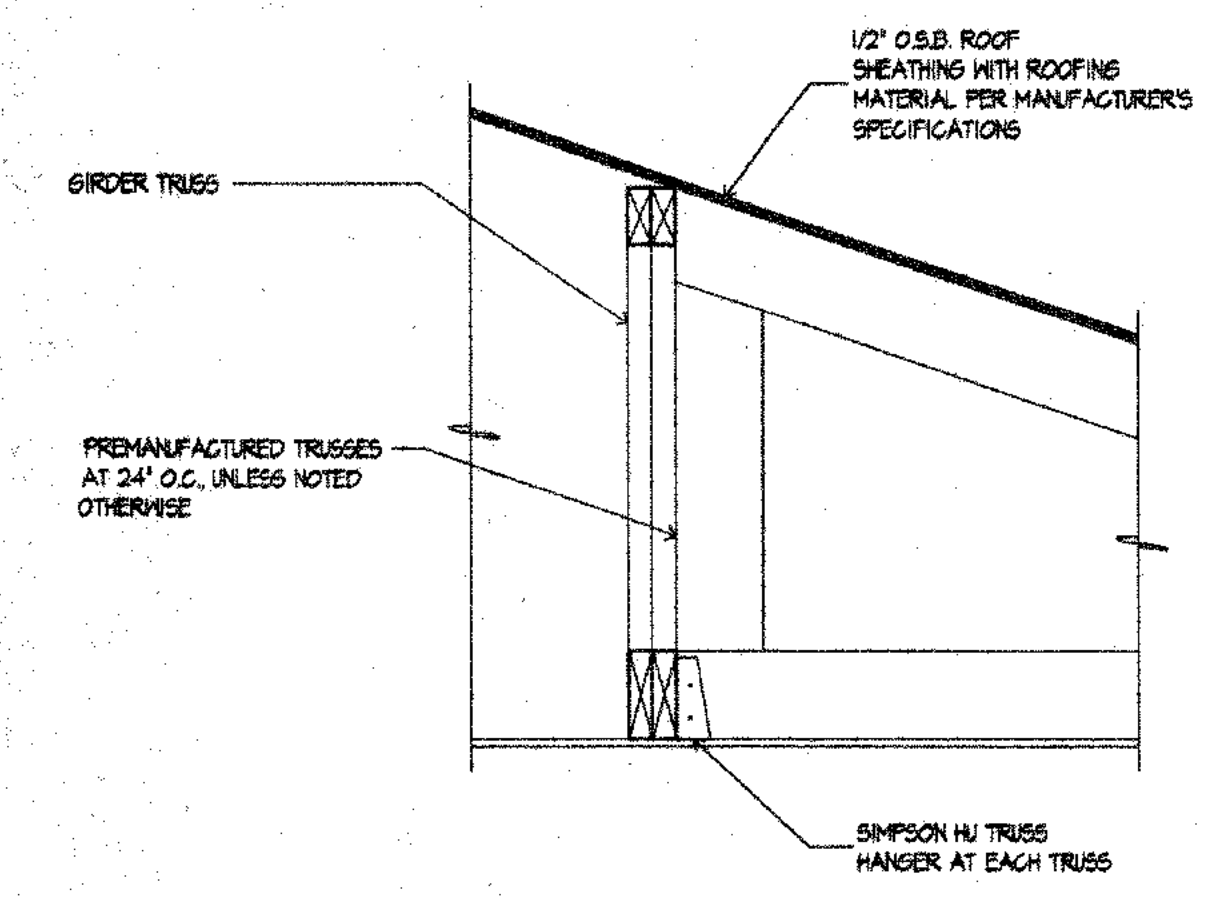
**4 (1) HR. RATED TENNANT WALL**  
1 1/2"=1'-0"



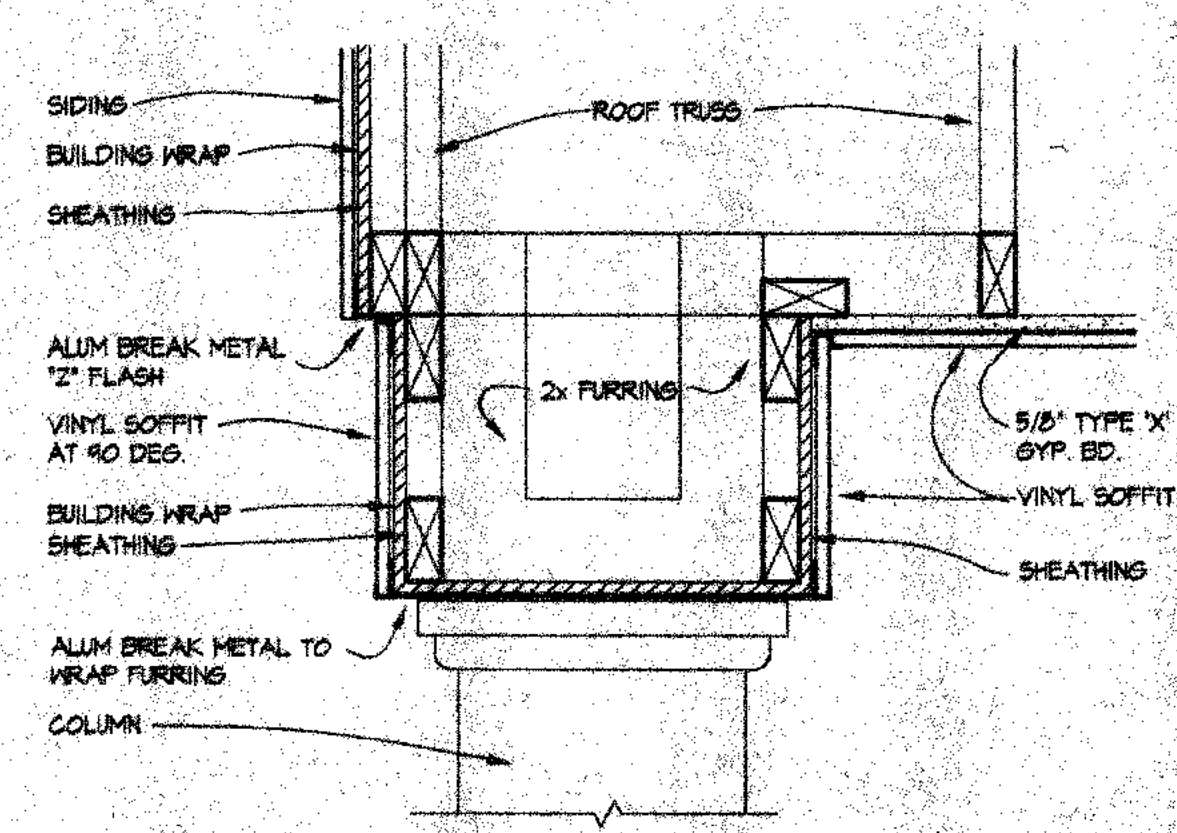
**5 (1) HR. RATED TENNANT WALL**  
1 1/2"=1'-0"



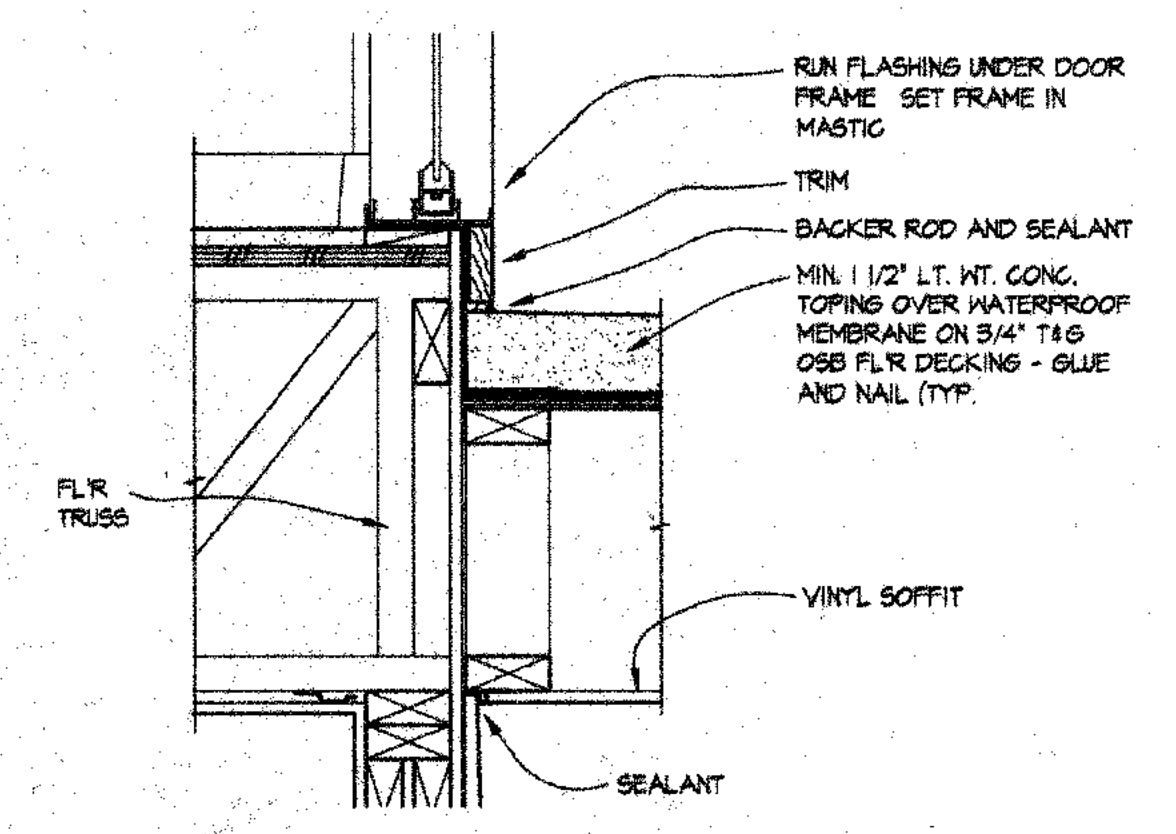
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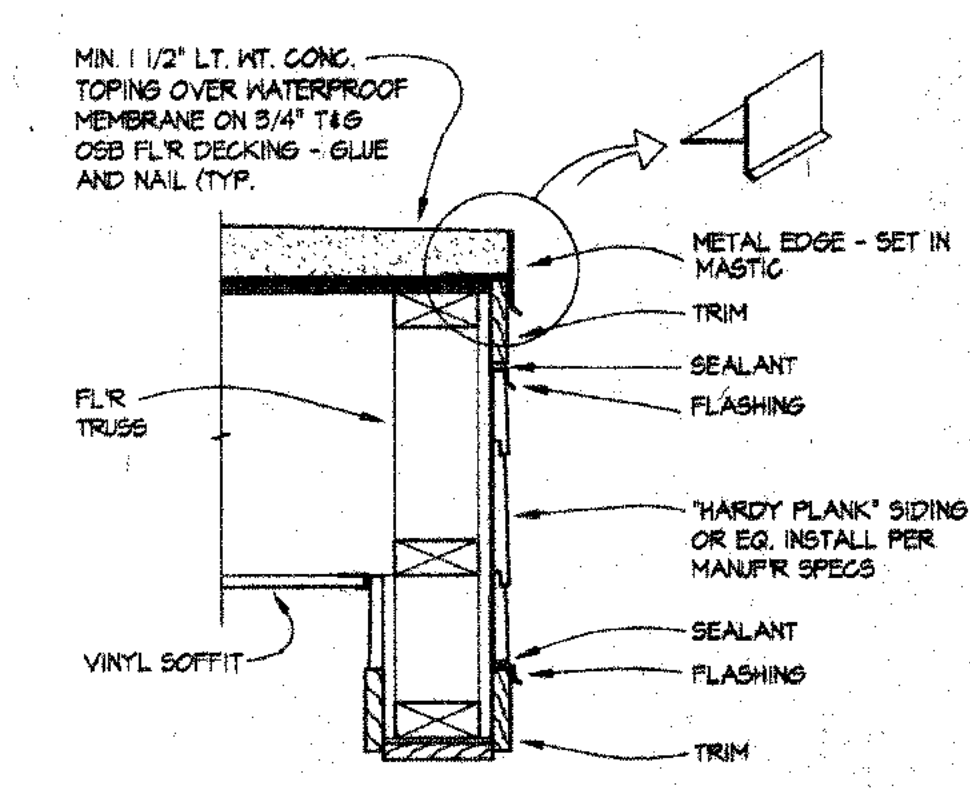
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**6 SECTION AT COLUMN**  
1 1/2"=1'-0"



**7 DECK DETAIL**  
1 1/2"=1'-0"



**8 DECK DETAIL**  
1 1/2"=1'-0"

REVISIONS	DATE

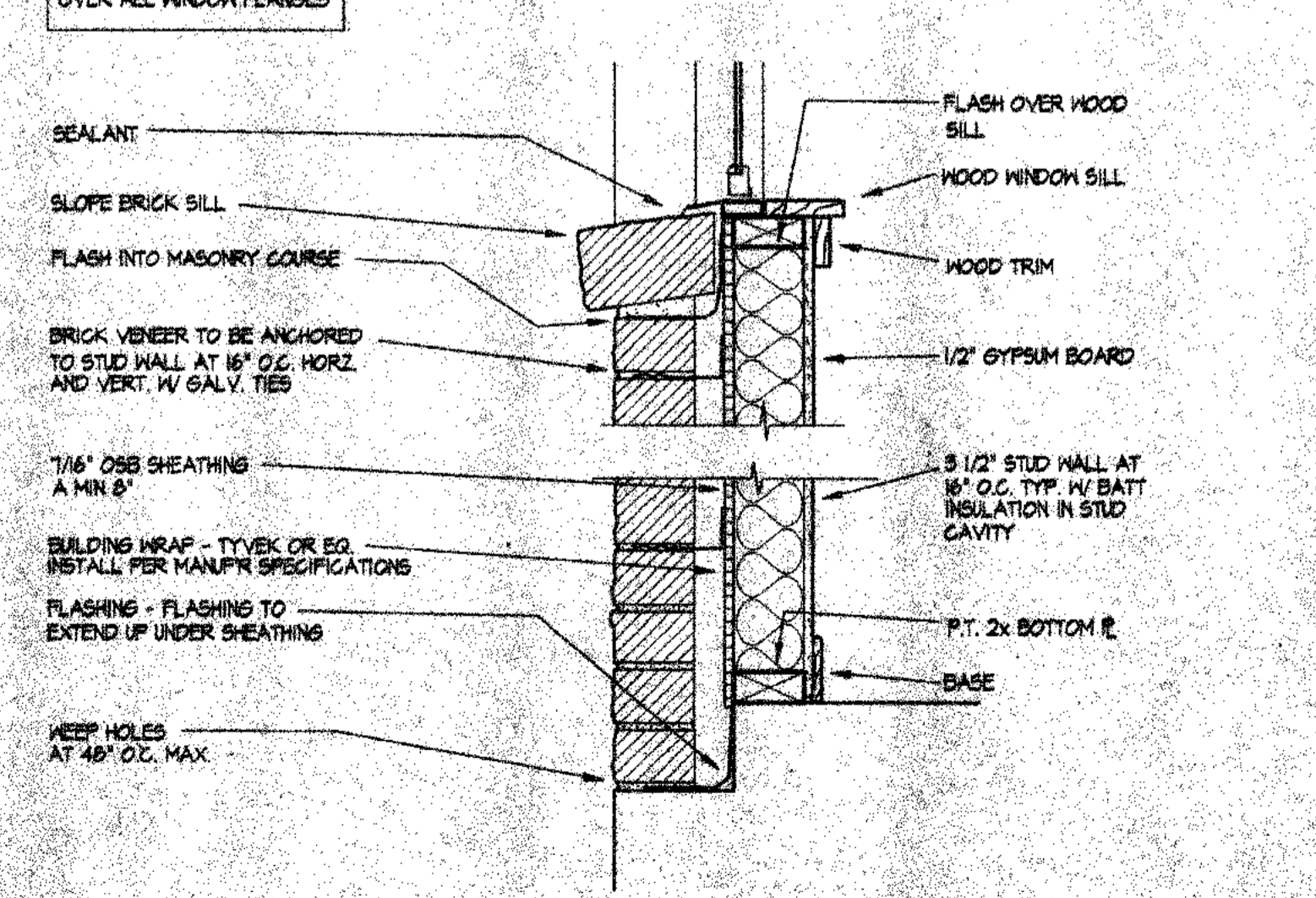
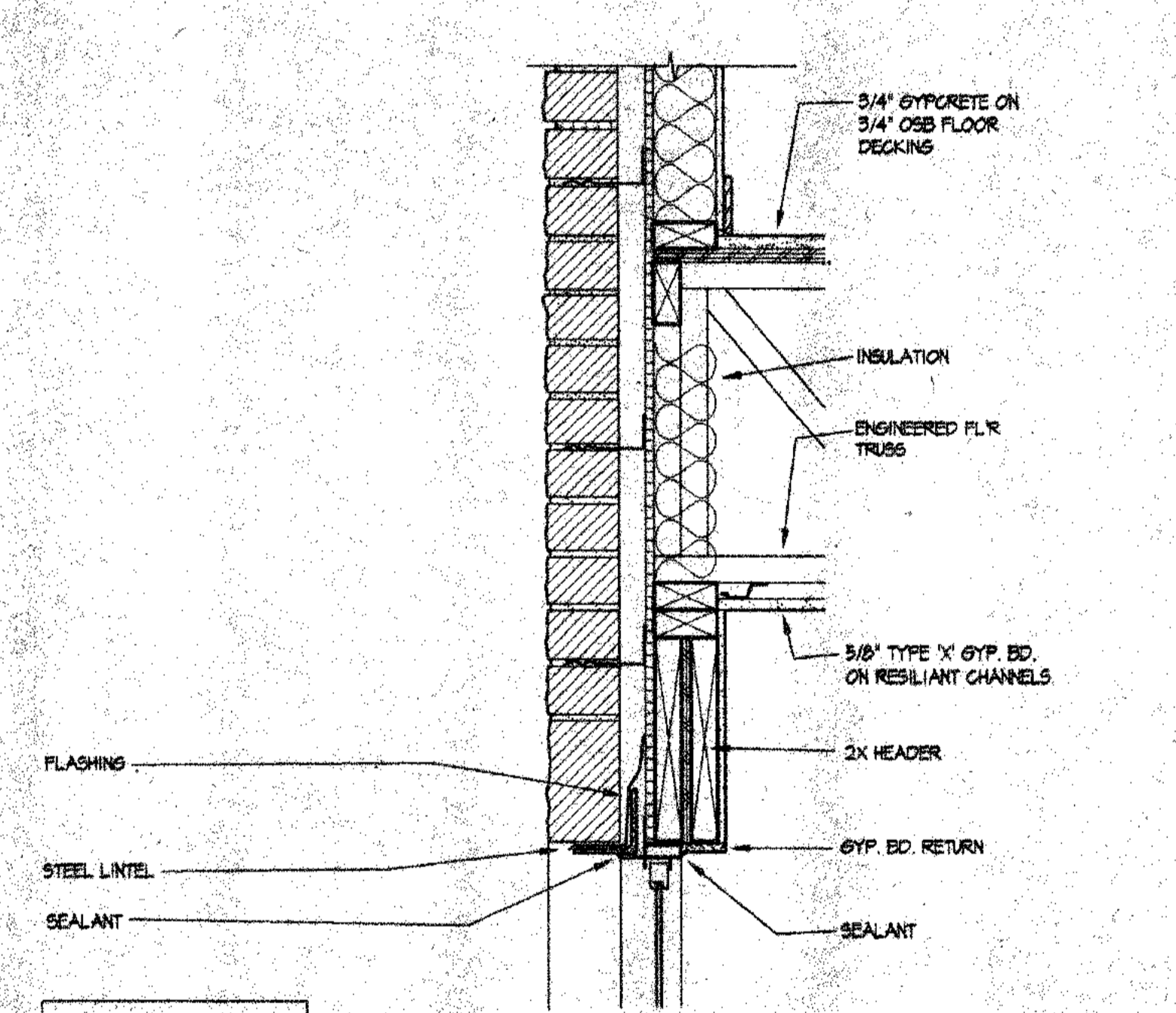
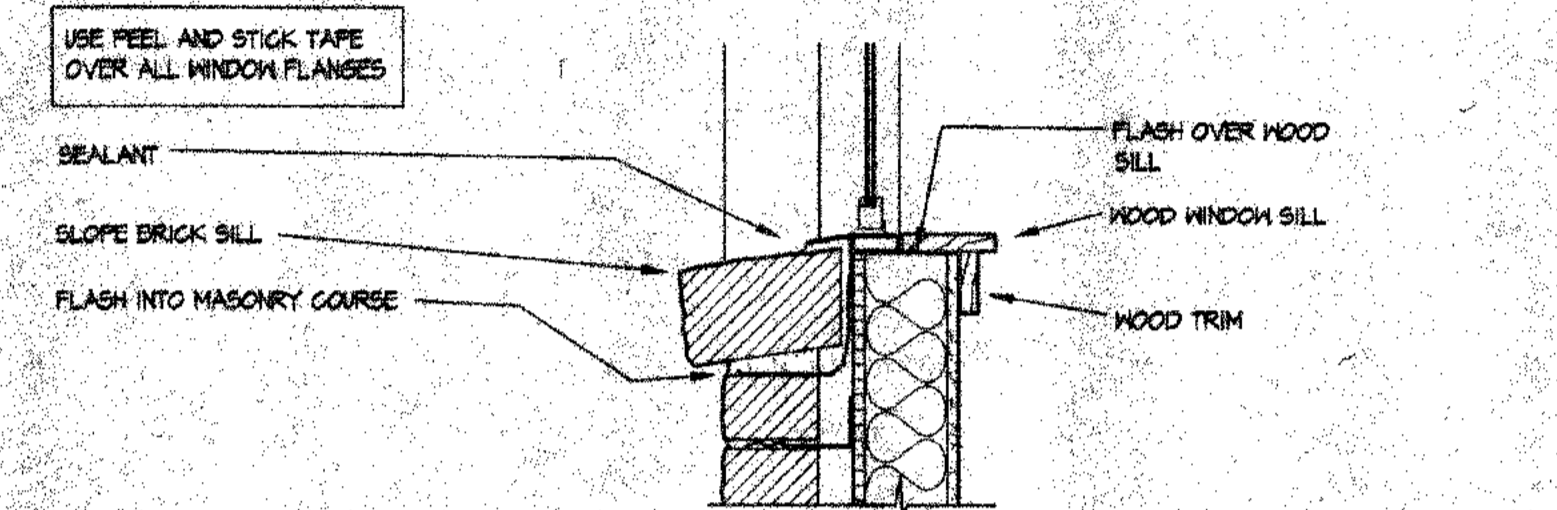
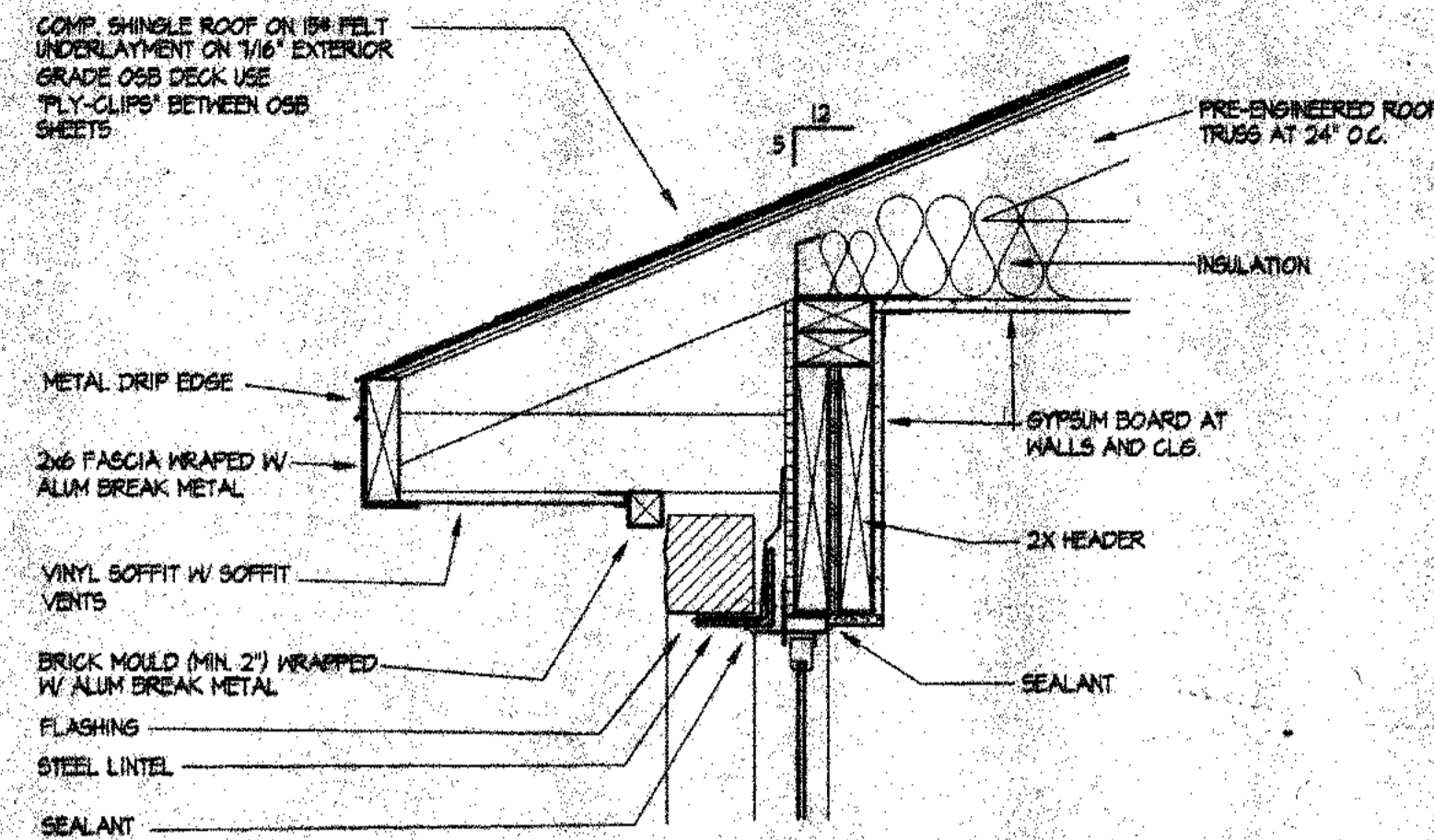


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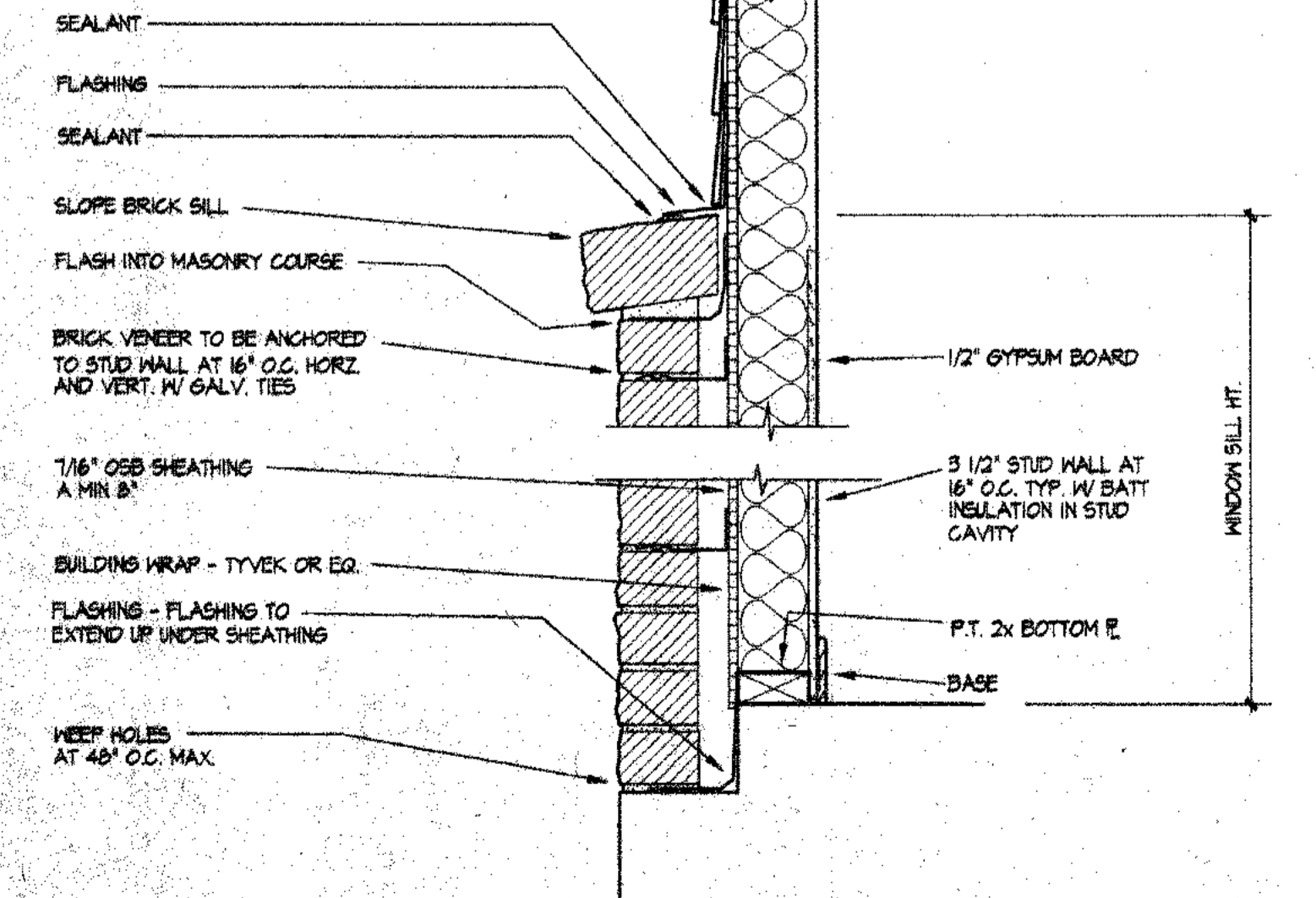
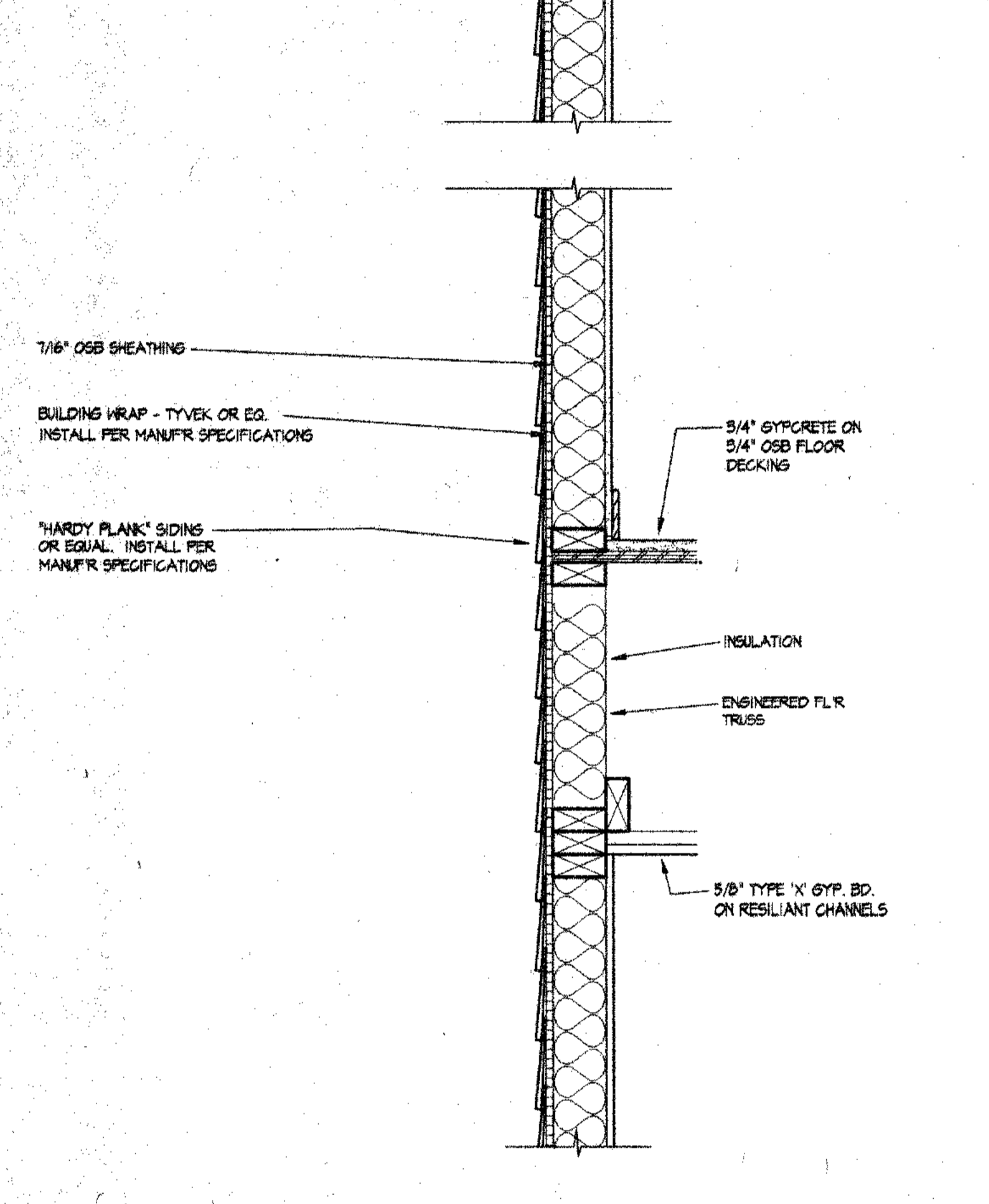
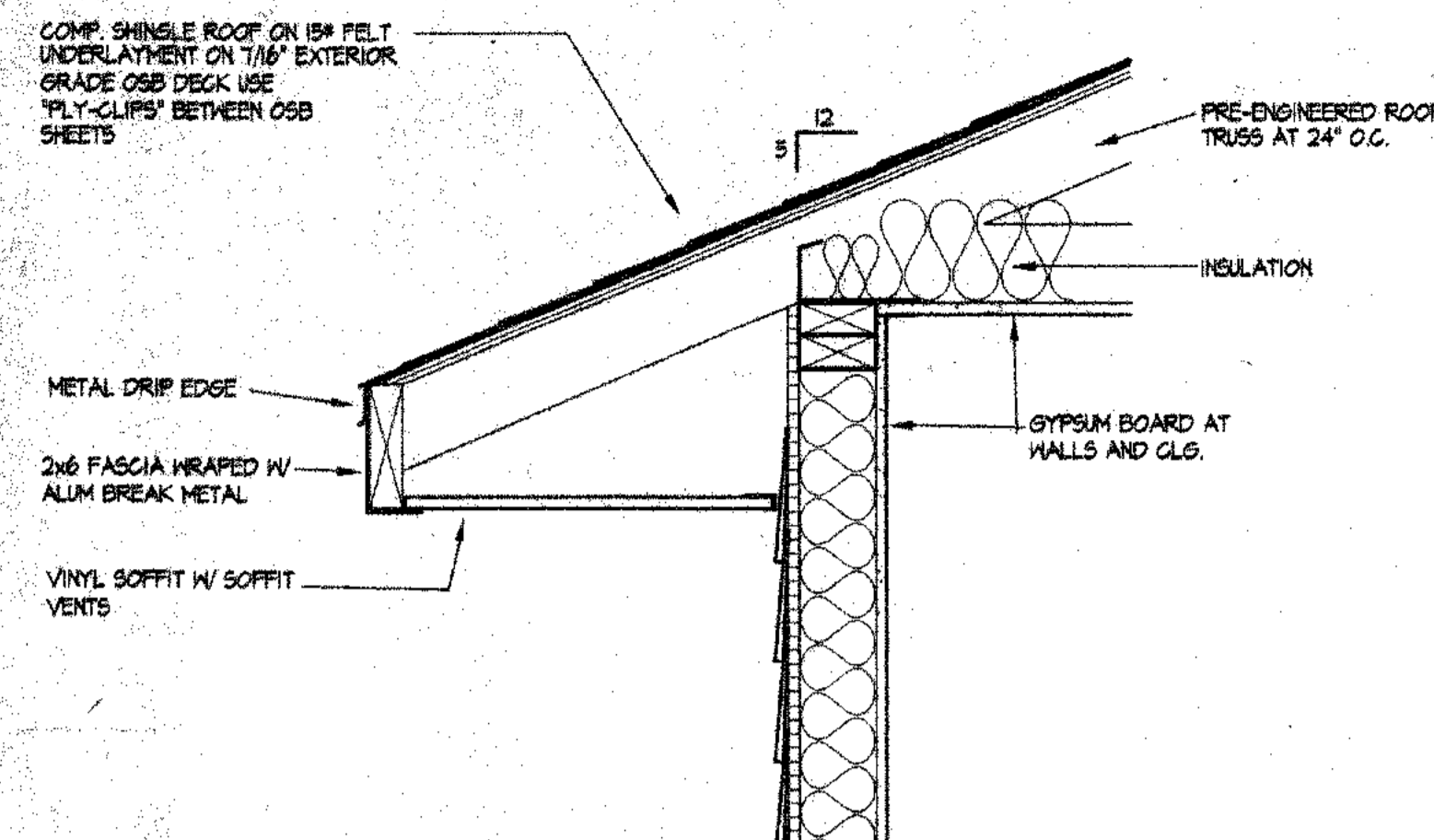
**DALTON FLATS**  
Dawville Road  
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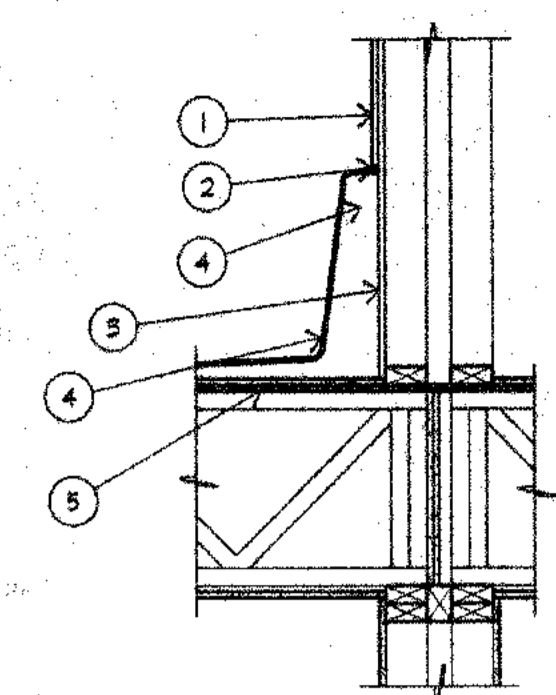
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**A-8**  
OF



**1 WALL SECTION**  
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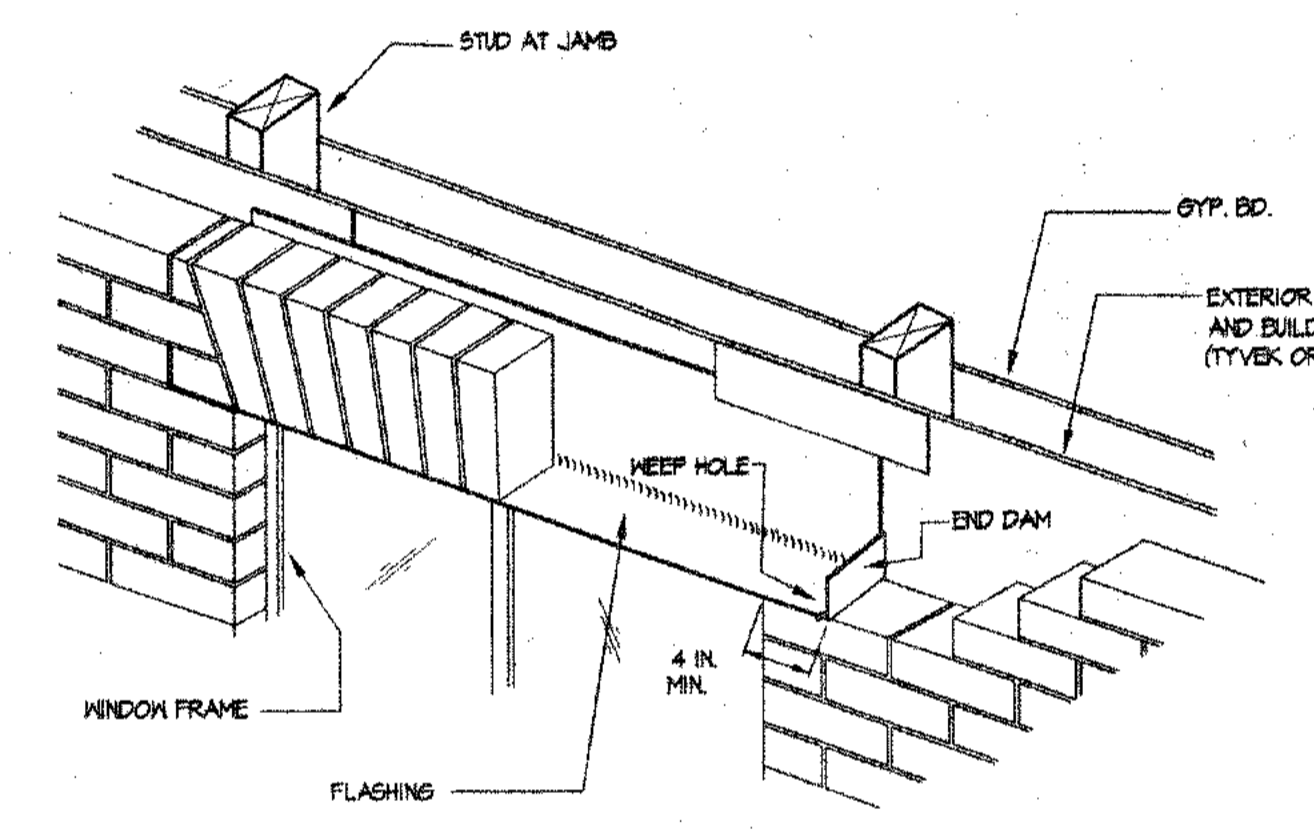


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1/2"x1'-0"

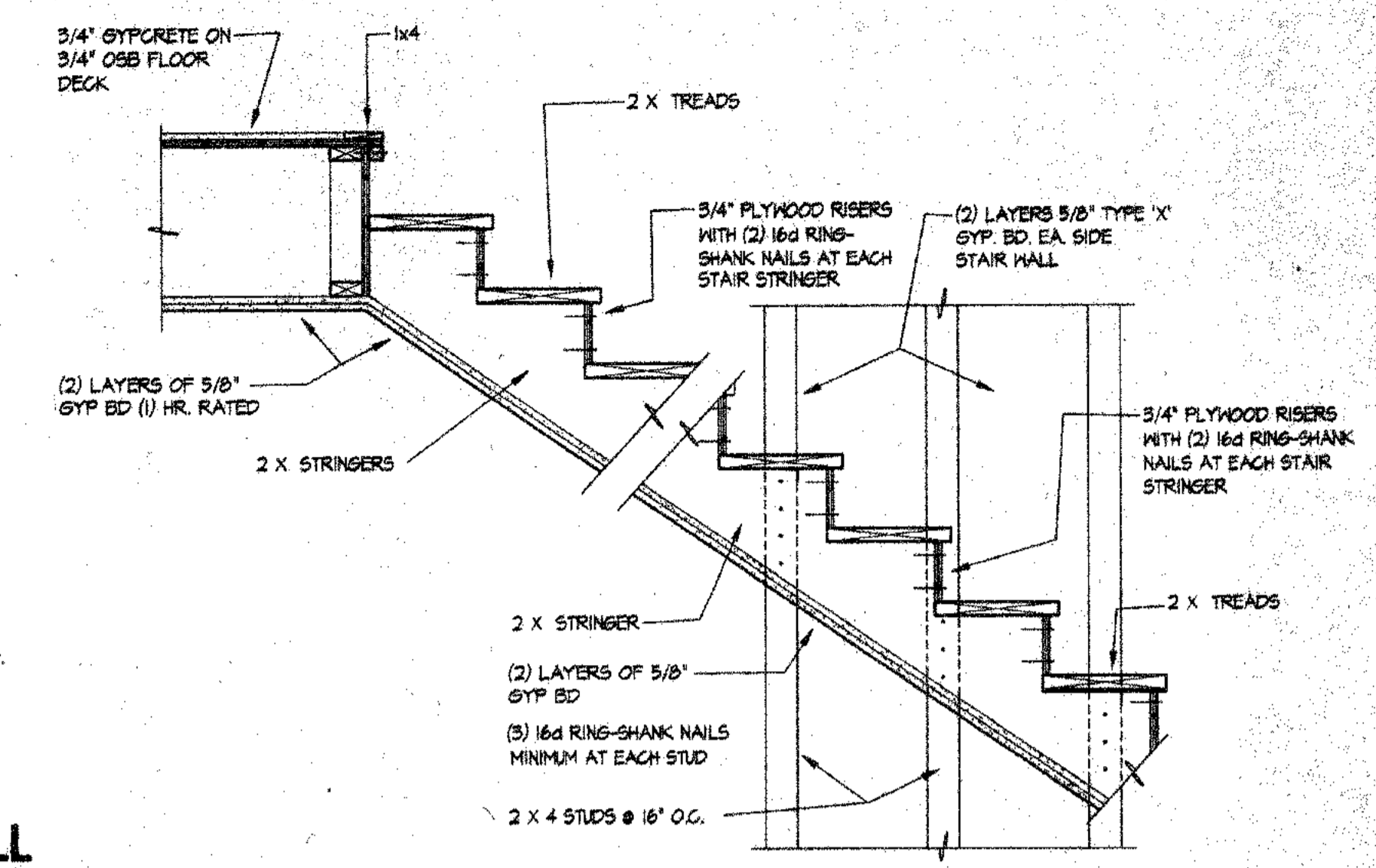


1. TUB ENCLOSURE
2. SILICONE SEALANT
3. TYPE 'X' WATER RESISTANT GYPSUM BACKING BOARD FROM FLOOR TO CEILING
4. FIBERGLASS TUB
5. 3/4" GYP-CRETE OVER 3/4" O.S.B.

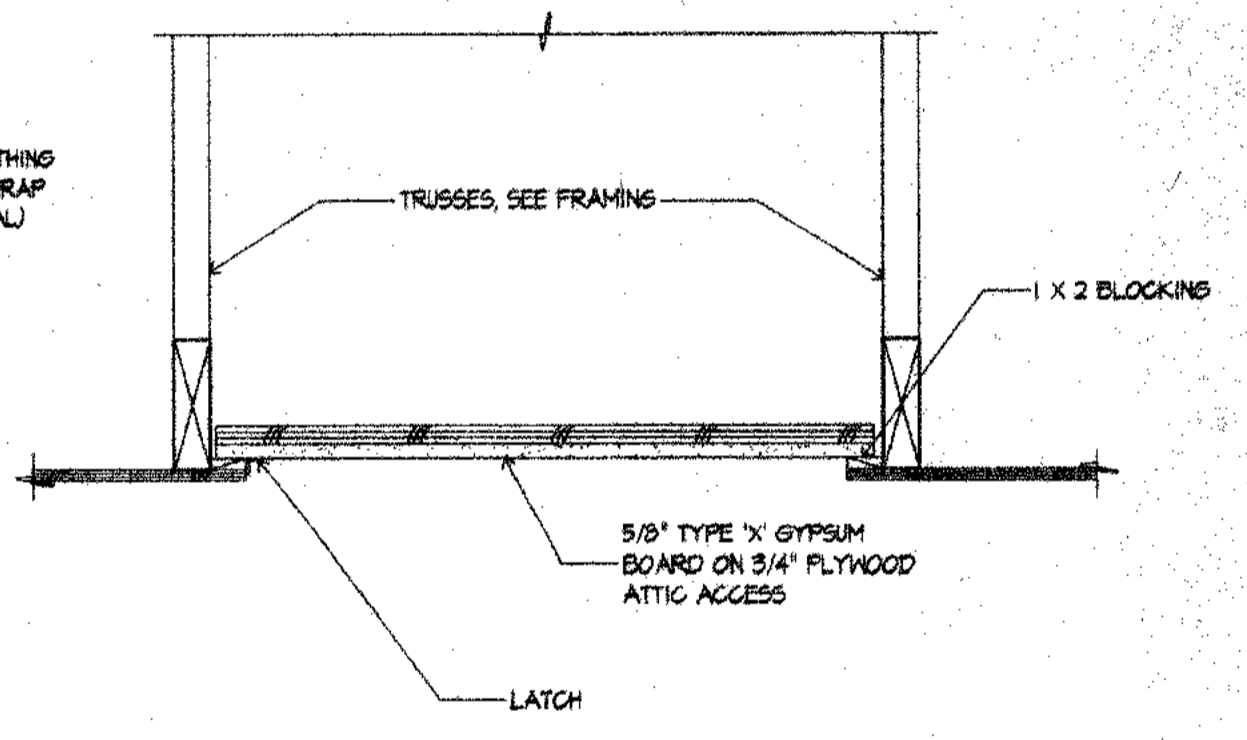
**3 TUB AT PARTY WALL**  
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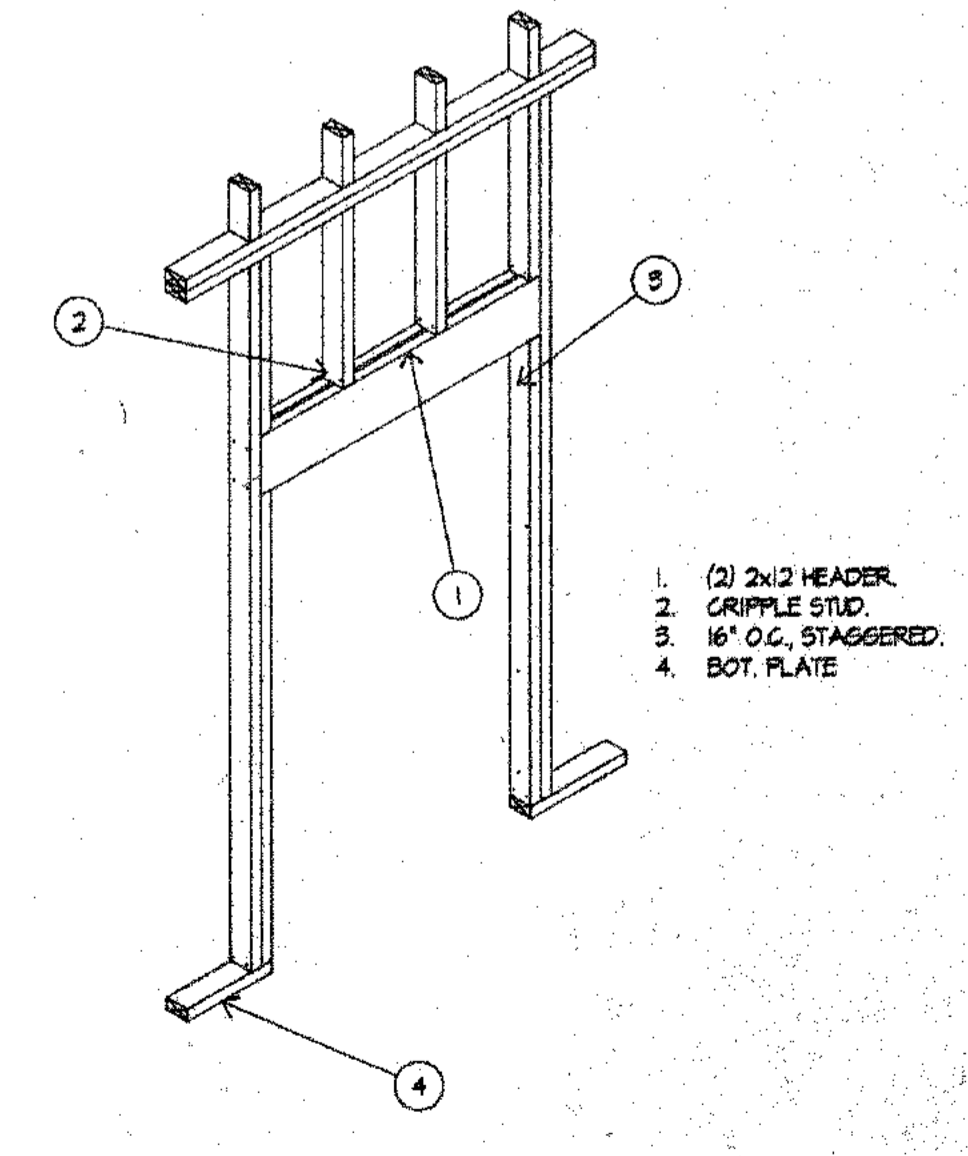
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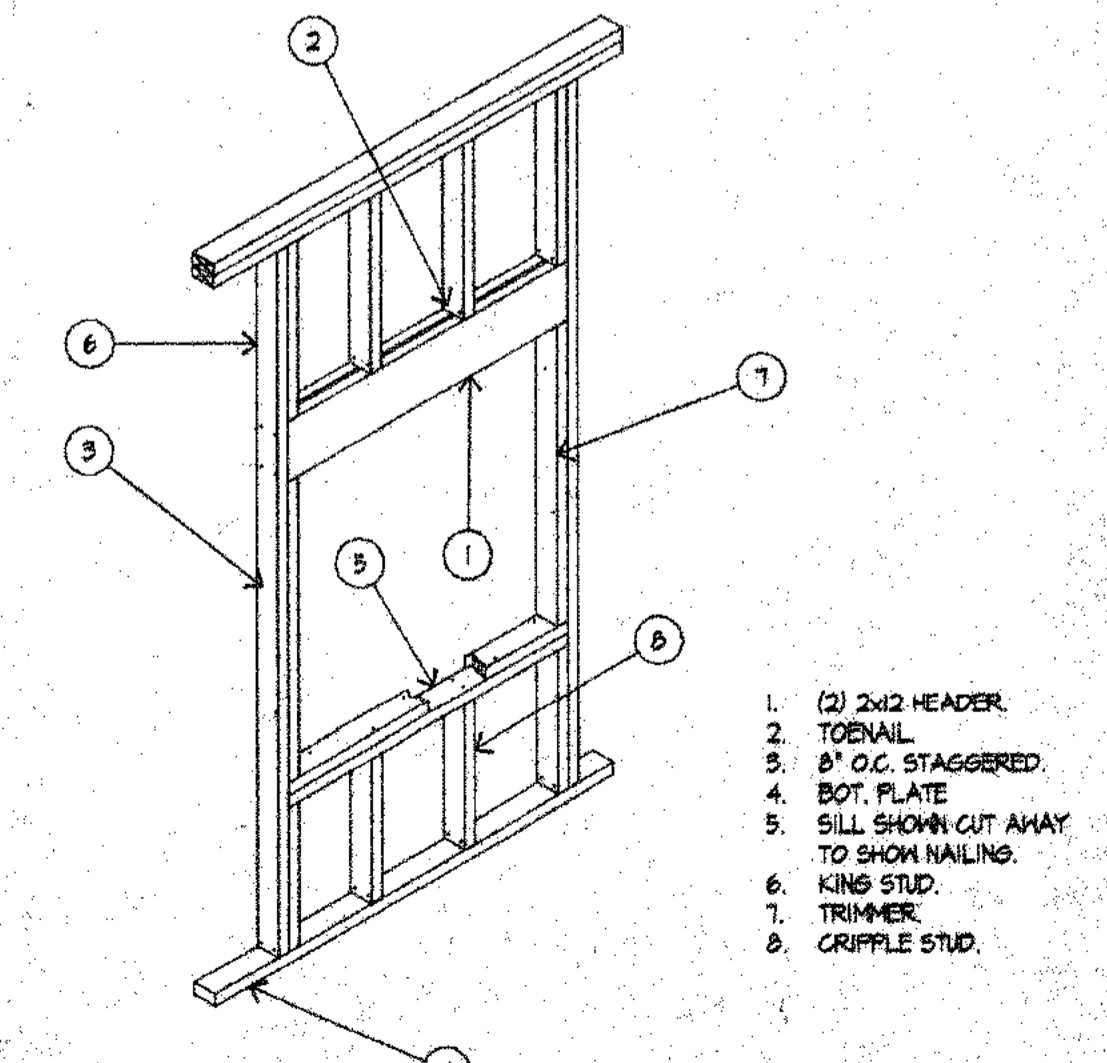
**4 STAIR DETAIL**  
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**6 CEILING ACCESS PANEL**  
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**7 DOOR OPENING**  
NO SCALE



**8 WINDOW OPENING**  
NO SCALE

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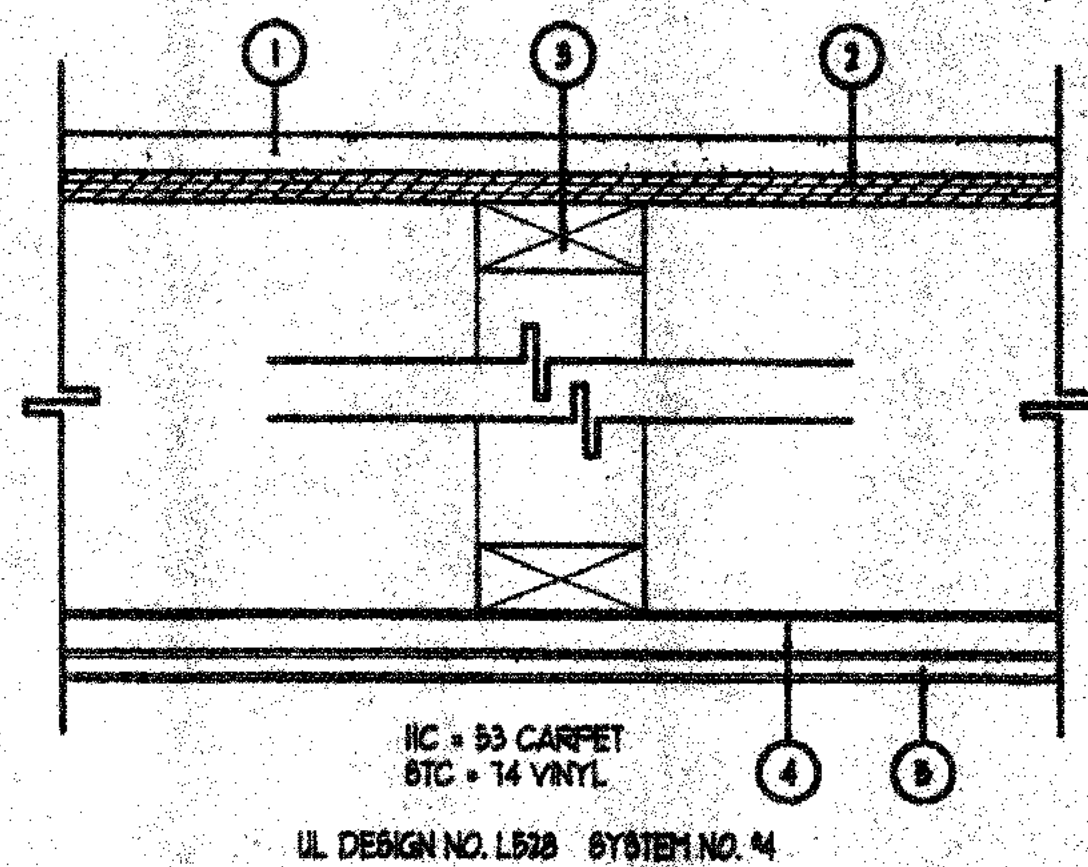


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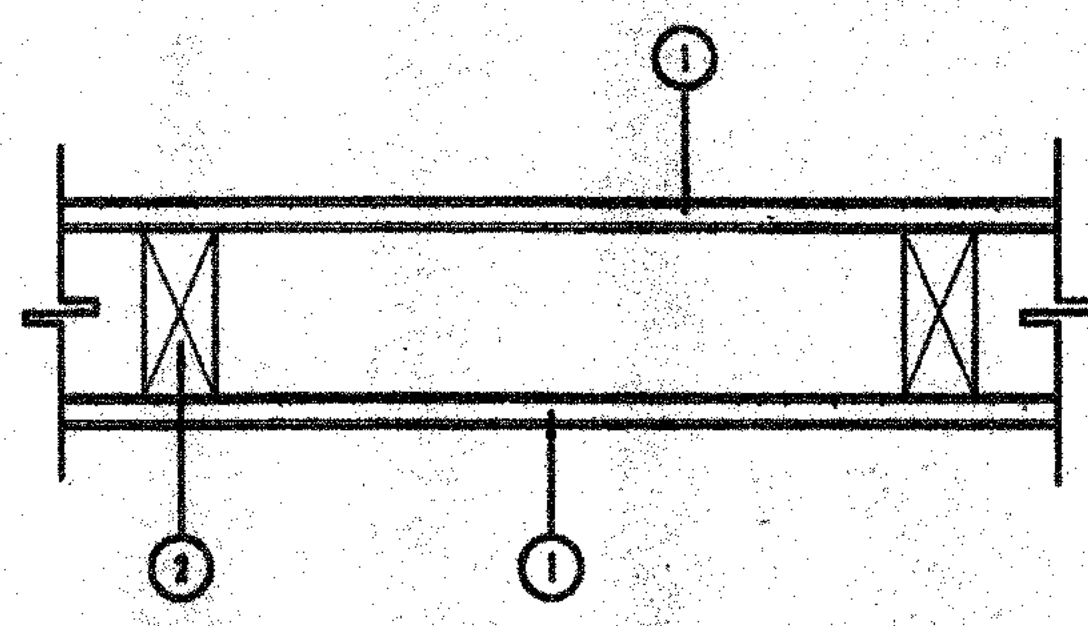
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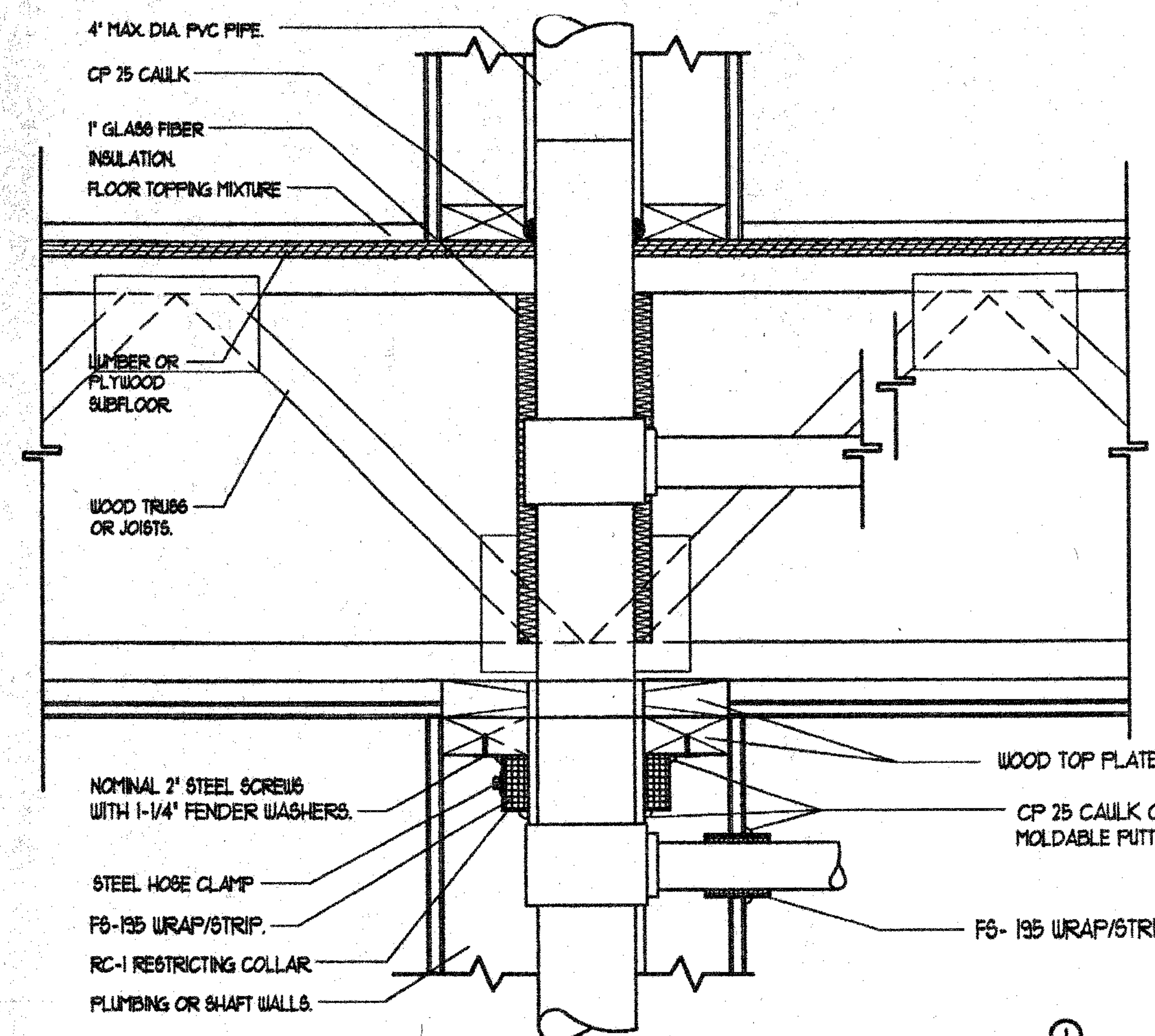
- UL DESIGN NO. L528 SYSTEM NO. 4
- FINISH FLOORING. PROVIDE TYPE GC GYPSUM BOARD CONSISTING OF 8 GALLONS OF WATER TO 80 LBS. OF FLOOR TOPPING MIXTURE TO 100 LBS OF SAND. COMPRESSIVE STRENGTH TO BE 1000 PSI MINIMUM. THICKNESS TO BE 3/4" MINIMUM.
  - SUB-FLOORING. 25/32" THICK PLYWOOD WITH EXTERIOR GLUE. MINIMUM GRADE TO BE STANDARD, CONFORMING TO PS-1-66 SPECIFICATIONS. FACE GRAIN OF PLYWOOD TO BE PERPENDICULAR TO FLOOR TRUSSES WITH JOINTS STAGGERED.
  - TRUSSES. PARALLEL CHORD TRUSSES SPACED A MAXIMUM 24" O.C. FABRICATED FROM NOMINAL 2 X 4 LUMBER. TRUSS MEMBER SECURED TOGETHER WITH #10-18G GALVANIZED STEEL TRUSS PLATES. PLATES INCLUDE 5/16" LONG TEETH PROJECTING PERPENDICULAR TO THE PLANE OF THE PLATE. THE TEETH ARE IN PAIRS FACING EACH OTHER MADE FROM THE SAME FINCH, CREATING A SPLIT TOOTH TYPE PLATE. EACH TOOTH HAS A CHISEL POINT ON ITS OUTSIDE EDGE, WITH THESE POINTS BEING DIAGONALLY OPPOSED FROM EACH OTHER FOR EACH PAIR. THE TOP HALF OF EACH TOOTH HAS A TWIST FOR STIFFNESS. THE PAIRS ARE REPEATED ON APPROXIMATELY 18" CENTERS WITH FOUR ROWS OF TEETH PER INCH OF PLATE WIDTH.
  - RESILIENT CHANNELS - FORMED FROM #16 MSG GALVANIZED STEEL, SPACED 16" O.C. PERPENDICULAR TO TRUSSES. CHANNELS SECURED TO EACH TRUSS WITH TYPE 6, 1/4 IN. LONG STEEL SCREW (SPACED 24 IN. O.C.) CHANNELS OVERLAPPED AT SPACES 4 IN.
  - GYPSUM WALLBOARD. 5/8" THICK BY 4'-0" WIDE TYPE 'C' GYPSUM WALLBOARD. SHEETS OF GYPSUM WALLBOARD INSTALLED WITH LONG DIMENSION PERPENDICULAR TO FURRING CHANNELS WITH 1" LONG TYPE 'S', 3/16" DIAMETER SELF DRILLING AND SELF TAPPING SINGLE HEAD WALLBOARD SCREWS SPACED 12" O.C. AND LOCATED A MINIMUM OF 1-1/2" FROM SIDE AND IN JOINTS. AT END JOINTS, 2 FURRING CHANNELS ARE USED WHICH EXTEND A MINIMUM OF 6" BEYOND END OF JOINT. GYPSUM WALLBOARD JOINTS SHALL BE COVERED WITH PAPER TAPE AND JOINT COMPOUND, NAIL HEADS COVERED WITH JOINT COMPOUND. GYPSUM PLASTER NOT MORE THAN 1/8" THICK MAY BE APPLIED OVER THE GYPSUM BOARD IN ADDITION TO THE SPECIFIC JOINT TREATMENT.

**1 HR FLOOR/CEILING AT TRUSS**  
SCALE: 3" = 1'-0" UL NO. L528

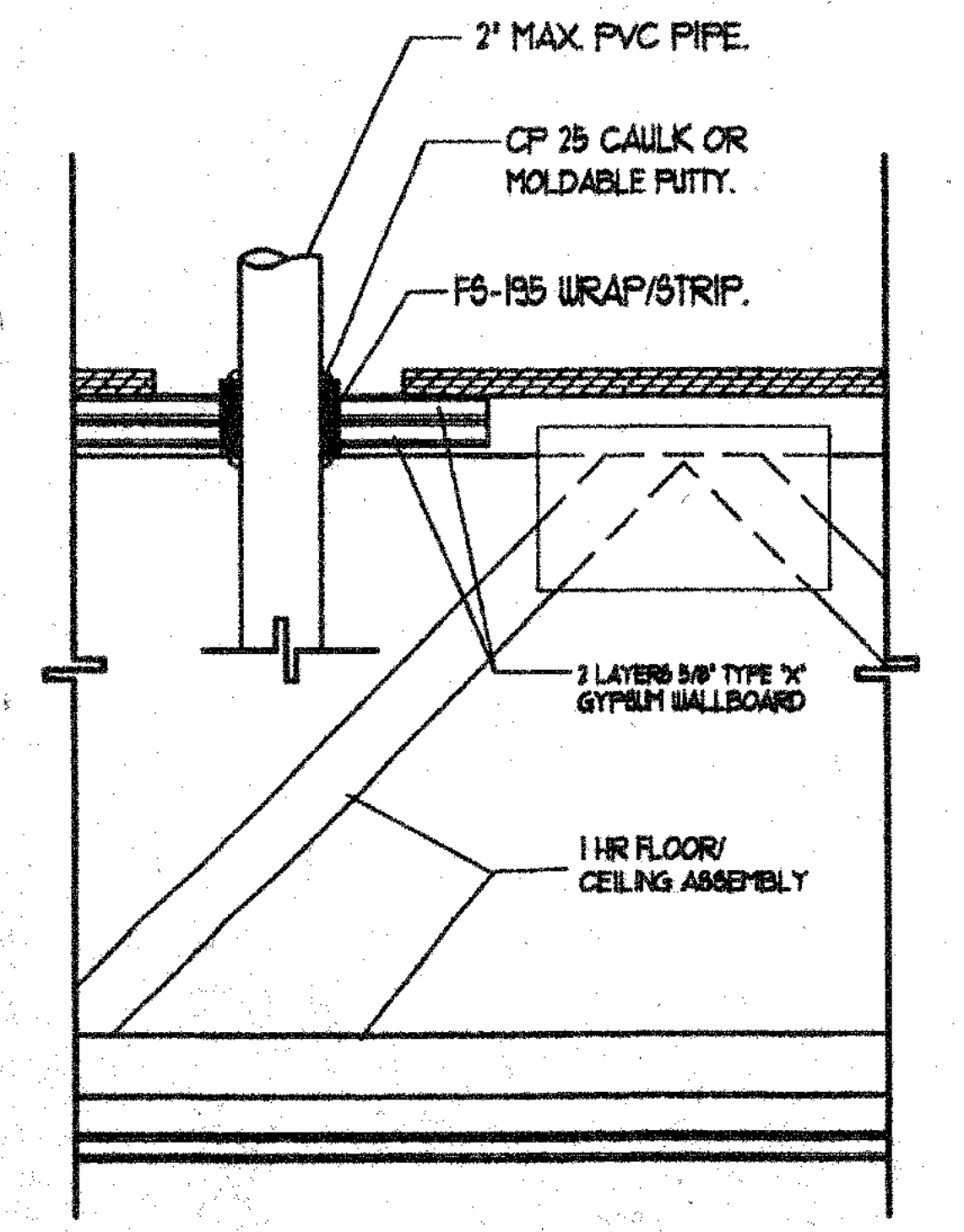


- REFERENCE: GYPSUM ASSOC. FIRE RESISTANCE DESIGN MANUAL/UP-3510  
UL DESIGN NO. U325
- GYPSUM WALLBOARD. 5/8" TYPE 'X' GYPSUM WALLBOARD NAILED AT 1' O.C. WITH #4 CEMENT COATED NAILS 1-1/2" LONG, #9/16 INCH SHANK DIAMETER AND #25 INCH DIAMETER HEADS. WHEN USED IN WIDTHS OTHER THAN 48", WALLBOARD IS TO BE INSTALLED HORIZONTALLY. GYPSUM BOARD JOINTS COVERED WITH PAPER TAPE AND JOINT COMPOUND. NAIL HEADS COVERED WITH JOINT COMPOUND. GYPSUM PLASTER NOT MORE THAN 1/8" THICK MAY BE APPLIED OVER THE WALLBOARD IN ADDITION TO SPECIFIED JOINT TREATMENT.
  - WOOD STUDS. NOMINAL 2 X 4 WOOD STUDS SPACED AT 16" O.C. EFFECTIVELY CROSS BRACED AND FIRE STOPPED AT TOP AND BOTTOM.

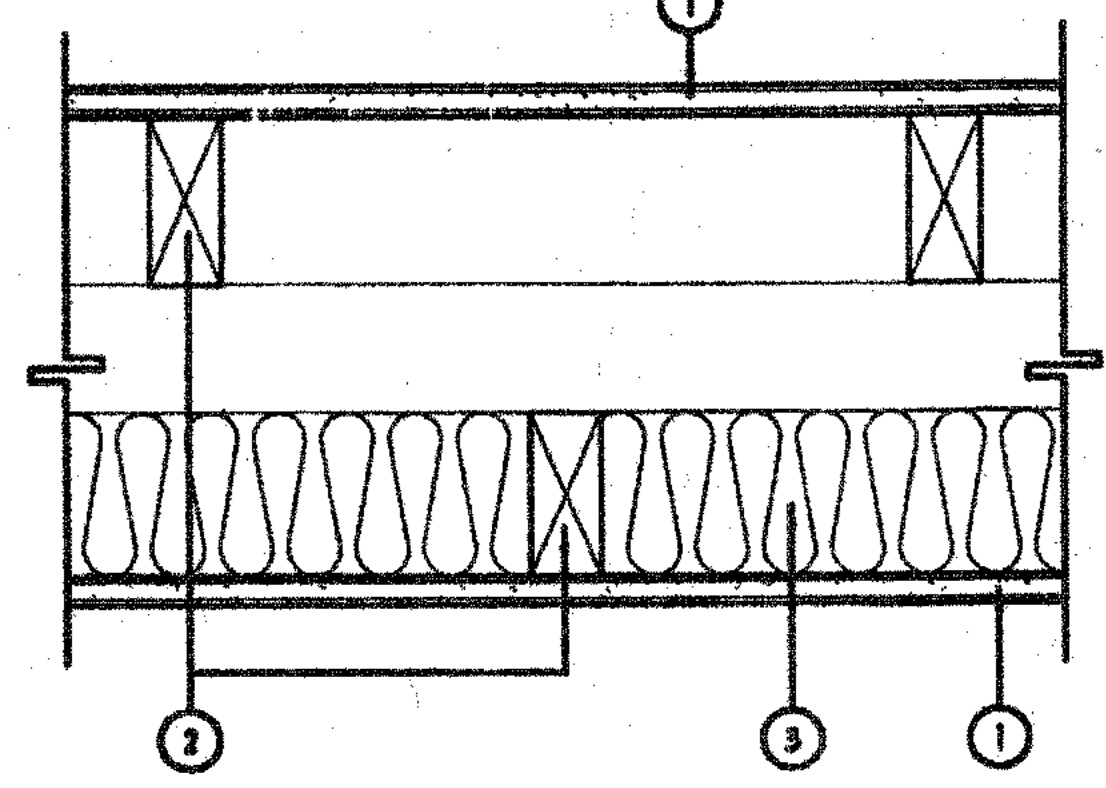
**1 HR INT. LOAD BEARING WALL**  
SCALE: 3" = 1'-0" UL NO. U325



**1 HR PLUMBING WALL**  
SCALE: 3" = 1'-0" REFERENCE: UL SYSTEM # FC2001



**1 HR PLUMBING AT TUB DRAIN**  
SCALE: 3" = 1'-0" REFERENCE: UL SYSTEM # FC2001



- REFERENCE: SBCCI, CHAPTER 1
- GYPSUM WALLBOARD. 5/8" THICK TAPERED EDGE TYPE 'X' GYPSUM WALLBOARD BEARING THE UNDERWRITERS LABORATORIES, INC. DESIGNATION. ANCHOR THE WALLBOARD AT 8" O.C. AT THE END AND JOINT STUDS AND 12" O.C. AT THE INTERMEDIATE STUDS AND PLATES USING 1-5/8" LONG GYPSUM DRYWALL NAILS WITH #10 1/2 INCH SHANK DIAMETER #12 INCH RING DIAMETER AND #28 INCH HEAD DIAMETER. USE ANNUAL RINGED SHANK NAILS WITH LONG DIAMOND POINTS AND SLIGHTLY COUNTERSUNK HEADS.
  - WOOD STUDS. DOUBLE ROW 2 X 4 WOOD STUDS AT 16" O.C. ON SEPARATE PLATES, STUD SYSTEMS ARE OFFSET FROM EACH OTHER BY 8". WOOD STUDS SHALL BE EFFECTIVELY CROSS BRACED AND FIRE STOPPED AT TOP AND BOTTOM. FIRST FLOOR STUDS - 3X4 WOOD STUDS 16" O.C. ON SEPARATE PLATES PER TABLE 23601A SBCCI CHAPTER 23
  - INSULATION. 3-1/2" THICK FIBERGLASS BATT INSULATION INSTALLED TO FILL STUD CAVITY OF WALL. ATTACH TO STUDS WITH WIRE STAPLES SPACED VERTICALLY AT 12" O.C. INSULATION SHALL BE APPLIED TO ONE SIDE OF WALL SYSTEM ONLY.
- TABLE 1096.2A  
5/8" TYPE 'X' GYPSUM WALLBOARD - 40 MINUTES
- TABLE 1096.2B  
2 X 4 STUDS @ 16" O.C. - 20 MINUTES
- TABLE 1096.2E  
FIBERGLASS BATT INSULATION - 5 MINUTES (NOT INCLUDED IN TOTAL MINUTES)
- TOTAL - 60 MINUTES
- NOTE: CALCULATIONS ARE DONE IN EACH DIRECTION PER CHAPTER 1, SBCCI
- 1 HR LOAD BEARING AT TENANT SEP. WALL**  
SCALE: 3" = 1'-0"

**NOTES**  
PENETRATION NOTES:  
GENERAL - PENETRATIONS THROUGH ALL OR A PORTION OF A WALL OR PARTITION ASSEMBLY CAN SIGNIFICANTLY AFFECT THE HOURLY RATING UNLESS THE PENETRATION IS SPECIFICALLY DESCRIBED ON THE DESIGN ILLUSTRATION OR ON THE PRODUCT CLASSIFICATION CARD FOR USE IN SPECIFIC ASSEMBLIES BASED UPON SUCCESSFUL PERFORMANCE IN A FIRE TEST. THESE PENETRATIONS MAY INCLUDE, BUT ARE NOT LIMITED TO, SUCH ITEMS AS PIPING, ELECTRICAL ACCESS, OR AIR DISTRIBUTION.

OUTLET BOXES - THE CATEGORY OF 'OUTLET BOXES AND FITTINGS CLASSIFIED FOR FIRE RESISTANCE' INCLUDES CLASSIFICATION FOR NONMETALLIC OUTLET AND SWITCH BOXES FOR USE IN WALL OR PARTITION ASSEMBLIES. THE INFORMATION GIVEN FOR EACH CLASSIFICATION INCLUDES THE MODEL NUMBERS FOR THE CLASSIFIED PRODUCTS, A DESCRIPTION OF THE RATED ASSEMBLIES, THE SPACING LIMITATIONS FOR THE BOXES AND THE INSTALLATION DETAILS.

LISTED SINGLE AND DOUBLE GANG METALLIC OUTLET AND SWITCH BOXES WITH METALLIC OR NONMETALLIC COVER PLATES MAY BE USED IN BEARING AND NONBEARING WOOD STUD AND STEEL STUD WALLS WITH RATINGS NOT EXCEEDING 2 HOUR. THESE WALLS SHALL HAVE GYPSUM WALLBOARD FACINGS SIMILAR TO THOSE SHOWN IN DESIGN NOS. U320, U41, AND U425.

THE SURFACE AREA OF INDIVIDUAL METALLIC OUTLET OR SWITCH BOXES SHALL NOT EXCEED 16 SQ. IN. THE AGGREGATE SURFACE AREA OF THE BOXES SHALL NOT EXCEED 100 SQ. IN. PER 100 SQ. FT. BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 IN.

THE METALLIC OUTLET OR SWITCH BOXES SHALL BE SECURELY FASTENED TO THE STUDS AND THE OPENING IN THE WALLBOARD FACING SHALL BE CUT SO THAT THE CLEARANCE BETWEEN THE BOX AND THE WALLBOARD DOES NOT EXCEED 1/8 IN.

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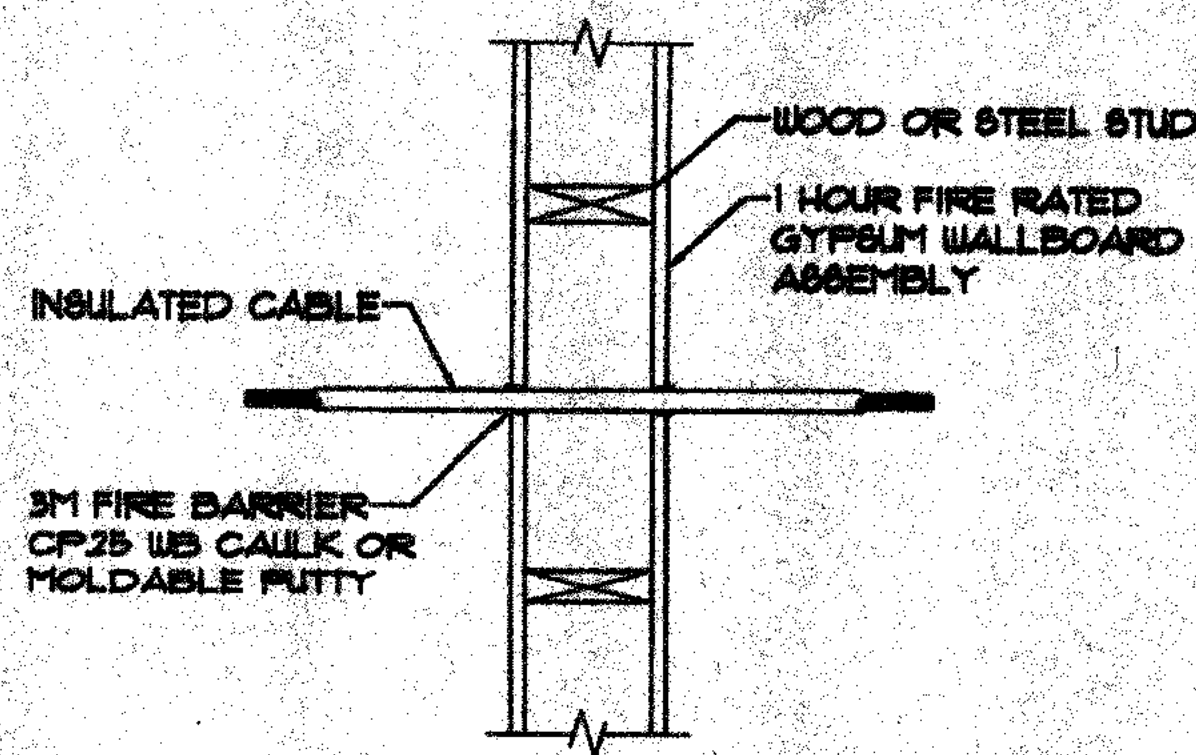


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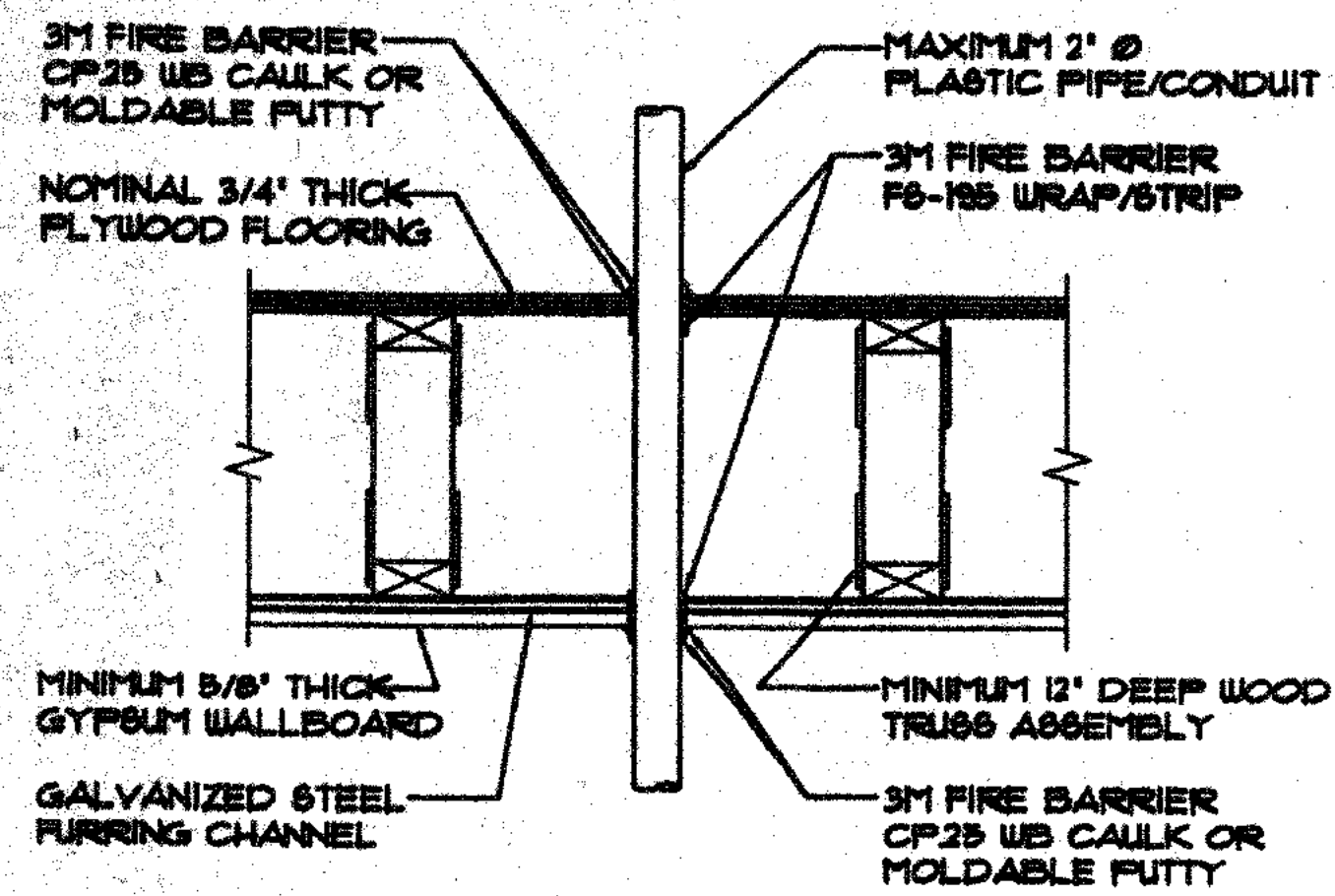
**1 ELECTRICAL CABLE PENETRATION**  
U.L. NO. UL 3001

**SYSTEM DETAILS**

- DRAWING NUMBER: 3000-1001M
- SYSTEM JUSTIFICATION: UL THROUGH-PENETRATION FIRESTOP SYSTEM NO. FC600, PER ASTM E 84 (ANAL. 1470) FIRE TEST.
- ASSEMBLY: 1 1/2" RATED GYPSUM WALLBOARD WALL. WALL FRAMING MAY CONSIST OF EITHER WOOD STUDS OR STEEL CHANNEL. SPIND ANNUAL SPACE: 16" - 24".
- RATING: F - 1 HR.
- PENETRATING ITEMS: MAXIMUM 10 PAIR - 24 AWG TELEPHONE CABLE, MAXIMUM 10 AWG - 3 CONDUCTOR TYPE (N.F.P.C.), MULTIPLE FIBER OPTICAL COMMUNICATION CABLE WITH A MAXIMUM 1/2" O.D., OR MAXIMUM 2 AWG - 18/3-CONDUCTOR POWER/CONTROL CABLE. PVC JACKET AND INSULATION (ULF) JACKET - 2 AWG MULTI-CONDUCTOR.

**APPLICATION DETAILS**

- INSTALL THE FIRESTOP SYMMETRICALLY TO BOTH SIDES OF THE WALL.
- INSTALL 3M FIRE BARRIER CP-25 UB CAULK OR 3M FIRE BARRIER MOLDABLE PUTTY TO FILL THE ANNULAR SPACE TO THE FULL THICKNESS OF THE GYPSUM WALLBOARD. CP-25 UB CAULK OR MOLDABLE PUTTY TO BE APPLIED BY BEYOND WALL SURFACE.



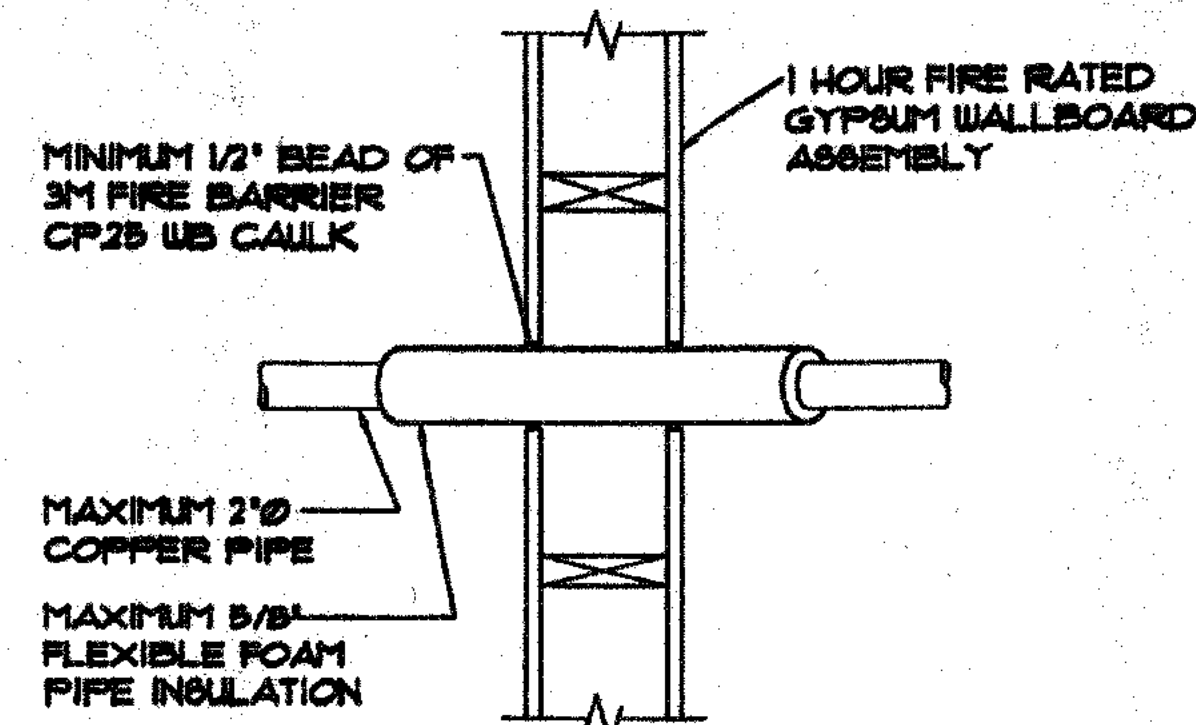
**2 PVC CONDENSATE PIPE PENETRATION**  
U.L. NO. FC 2000

**SYSTEM DETAILS**

- DRAWING NUMBER: 3000-1002M
- SYSTEM JUSTIFICATION: UL THROUGH-PENETRATION FIRESTOP SYSTEM NO. FC600, CONSTRUCTION A, PER ASTM E 84 (ANAL. 1470) FIRE TEST.
- ASSEMBLY: 1 1/2" RATED GYPSUM WALLBOARD AND CEILING ASSEMBLY OF THE 1 1/2" RATED DESIGN IN THE UL FIRE RESISTANCE DIRECTORY.
- RATING: F - 1 HR, T - 1 HR.
- PENETRATIONS PERMITTED: NOMINAL 2" DIAMETER (OR SMALLER) ABS, PVC, OR CPVC PLASTIC PIPE.

**APPLICATION DETAILS**

- INSTALL FIRESTOP IN BOTH FLOORING AND GYPSUM WALLBOARD/CEILING.
- 160MM ANNUAL SPACE IS 16". MAXIMUM ANNUAL SPACE IS 24".
- F6-155 WRAP/STRIP IS TIGHTLY WRAPPED AROUND THE NON-METALLIC PIPE (ROL SIDE OUT) SECURED WITH TWO STRIPS. THE STRIPS ARE SLID IN THE FLOOR AND CEILING OPENINGS. BOTTOM EDGE OF THE F6-155 WRAP/STRIP TO PROJECT 3/8" BELOW THE BOTTOM SURFACE OF THE FLOORING AND CEILING.
- APPLY CP-25 UB CAULK OR MOLDABLE PUTTY TO FILL ALL GAPS AT THE WRAP/STRIP FLOORING AND WRAP/STRIP CEILING INTERFACES.



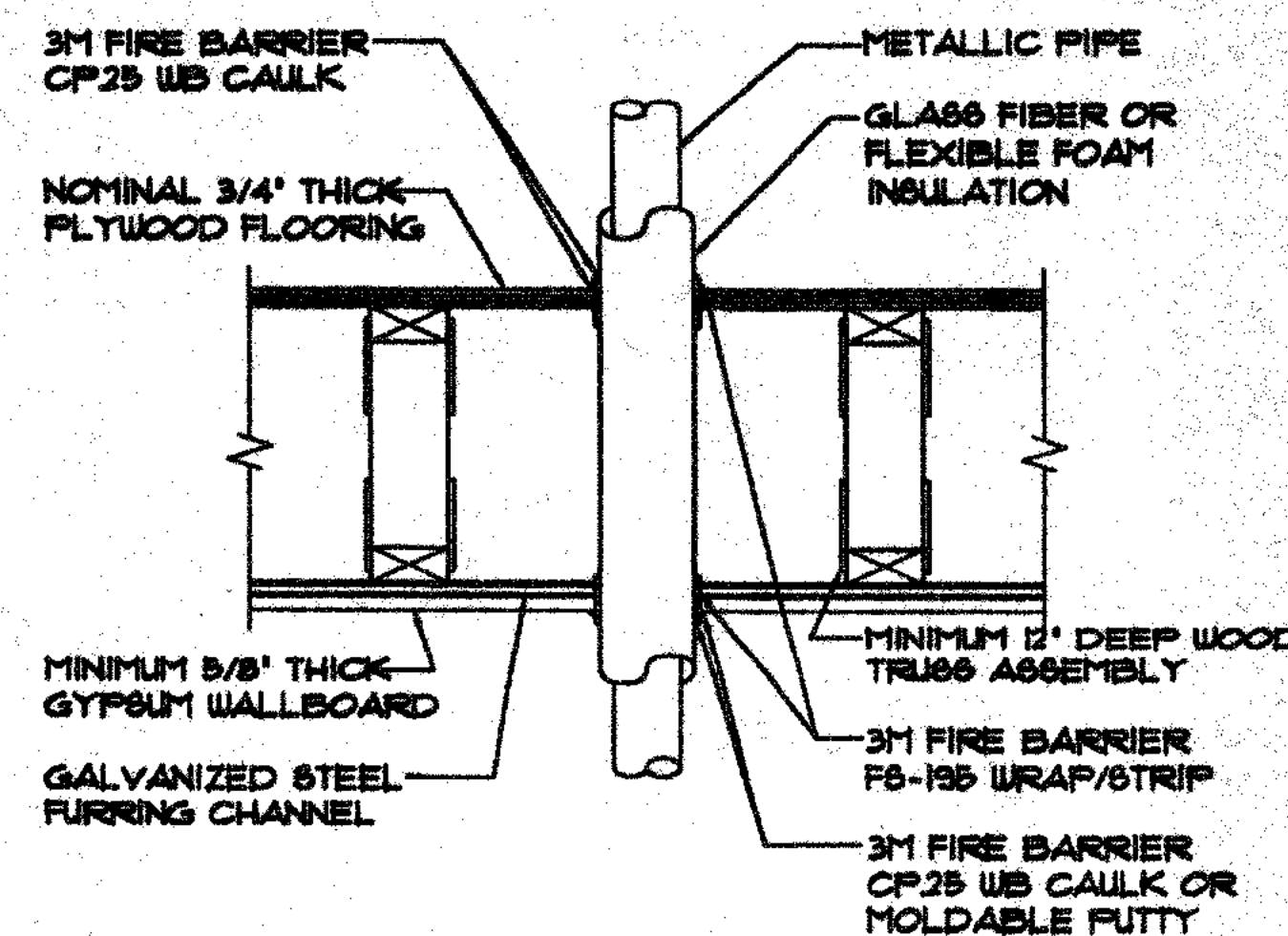
**3 METALLIC PIPE PENETRATION**  
U.L. NO. UL 5040

**SYSTEM DETAILS**

- DRAWING NUMBER: 3000-1003M
- SYSTEM JUSTIFICATION: UL THROUGH-PENETRATION FIRESTOP SYSTEM NO. FC600, PER ASTM E 84 (ANAL. 1470) FIRE TEST.
- ASSEMBLY: 1 HR RATED GYPSUM WALLBOARD AND WALL ASSEMBLY. STEEL PIPES OR CONDUITS LARGER THAN NOMINAL 4" DIAMETER MAY ONLY BE USED IN WALLS CONSTRUCTED USING STEEL CHANNEL BRICKS.
- RATING: F - 1 HR, T - 1 HR.
- PENETRATIONS PERMITTED: NOMINAL 2" DIAMETER (OR SMALLER) TYPE 1 (OR HEAVIER) COPPER PIPE WITH A NOMINAL 1/2" THICK ACRYLONITRILE BUTADIENE/POLYETHYLENE GLYCOL (AB/PVC) FLEXIBLE FOAM INSULATION.

**APPLICATION DETAILS**

- INSTALL THE FIRESTOP SYMMETRICALLY ON BOTH SIDES OF THE WALL ASSEMBLY.
- 160MM ANNUAL SPACE REQUIREMENT IS 16". MAXIMUM ANNUAL SPACE REQUIREMENT IS 24".
- FILL THE ANNULAR SPACE THROUGHOUT THICKNESS OF GYPSUM WALLBOARD, FLUSH WITH EACH SURFACE OF WALL WITH 3M FIRE BARRIER CP-25 UB CAULK. A 1/2" DIAMETER BEAD OF CAULK SHALL BE APPLIED TO THE PIPE AND GYPSUM WALLBOARD INTERFACE AT THE POINT OF CONTACT LOCATION ON BOTH SIDES OF WALL.



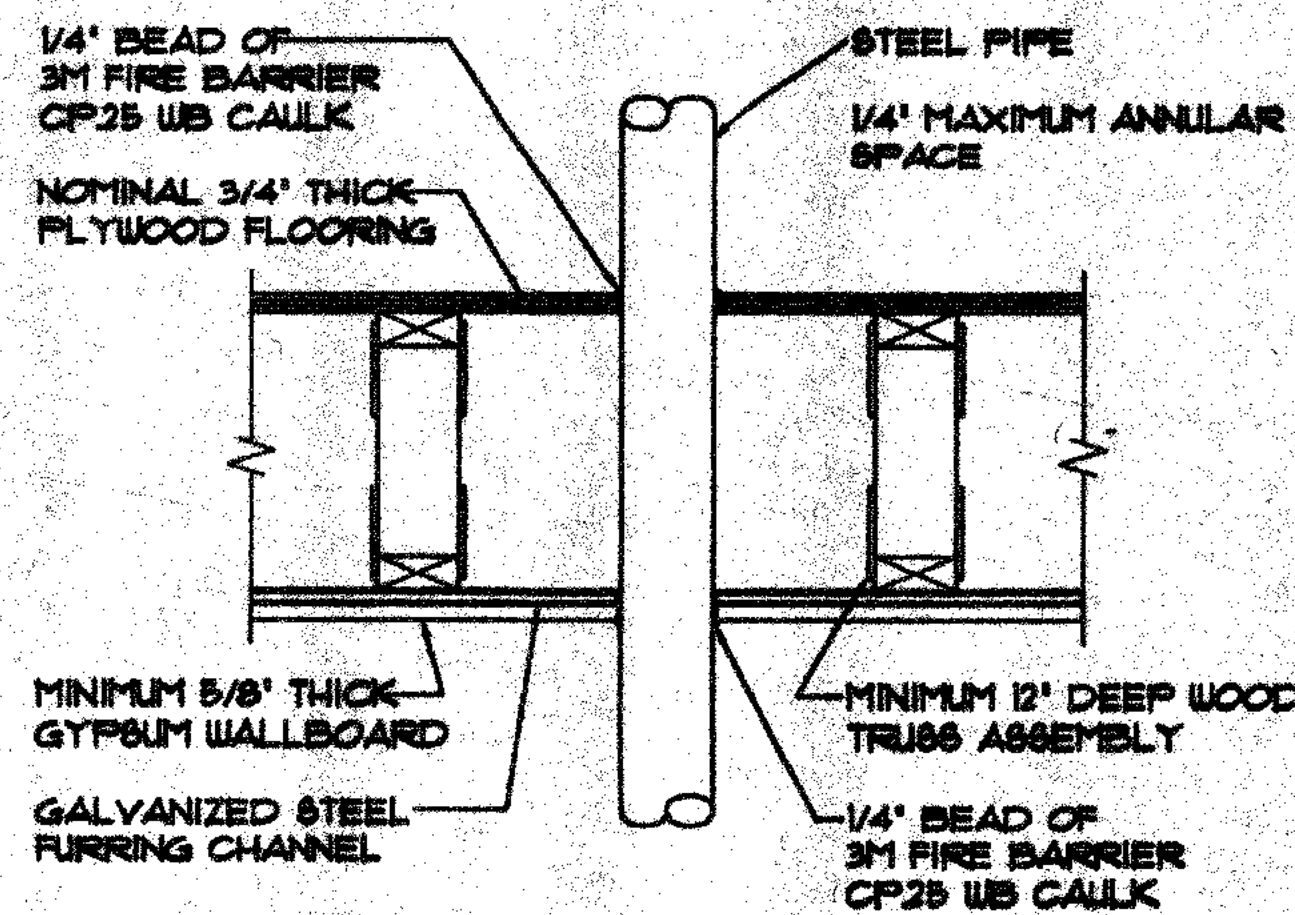
**4 METALLIC PIPE PENETRATION**  
U.L. NO. FC 5002

**SYSTEM DETAILS**

- DRAWING NUMBER: 3000-1004M
- SYSTEM JUSTIFICATION: UL THROUGH-PENETRATION FIRESTOP SYSTEM NO. FC600, PER ASTM E 84 (ANAL. 1470) FIRE TEST.
- ASSEMBLY: 1 1/2" RATED GYPSUM WALLBOARD AND CEILING ASSEMBLY OF THE 1 1/2" RATED DESIGN IN THE UL FIRE RESISTANCE DIRECTORY.
- RATING: F - 1 HR, T - 1 HR.
- PENETRATIONS PERMITTED: MAXIMUM 4" O.D. STEEL PIPE, MAXIMUM 3" TYPE L COPPER PIPE.
- INSULATION TYPES: 1 1/2" THICK FIBERGLASS, MAXIMUM 1/2" THICK ACRYLONITRILE BUTADIENE/POLYETHYLENE GLYCOL (AB/PVC) FLEXIBLE FOAM INSULATION. OTHERS REFERRED TO AS APPROVED.

**APPLICATION DETAILS**

- INSTALL THE FIRESTOP ON THE BOTTOM SIDE OF THE FLOOR AND THE CEILING.
- 160MM ANNUAL SPACE IS 16". MAXIMUM ANNUAL SPACE IS 24".
- TIGHTLY WRAP THE 3M FIRE BARRIER F6-155 WRAP/STRIP (ROL SIDE OUT) AROUND THE PIPE COVERING, SECURE THE F6-155 WRAP/STRIP WITH 2 STRIPS. SLIDE THE WRAP/STRIP INTO THE OPENING IN THE FLOORING AND CEILING. BOTTOM EDGE OF THE WRAP/STRIP SHOULD PROJECT 3/8" BELOW THE BOTTOM SURFACE OF THE FLOORING AND CEILING.
- SEAL THE F6-155 WRAP/STRIP EDGES AND BEAMS WITH A 1/2" BEAD OF CP-25 UB CAULK. CAULK SHOULD BE USED TO FILL ALL GAPS AT THE F6-155 WRAP/STRIP FLOORING AND CEILING INTERFACES.



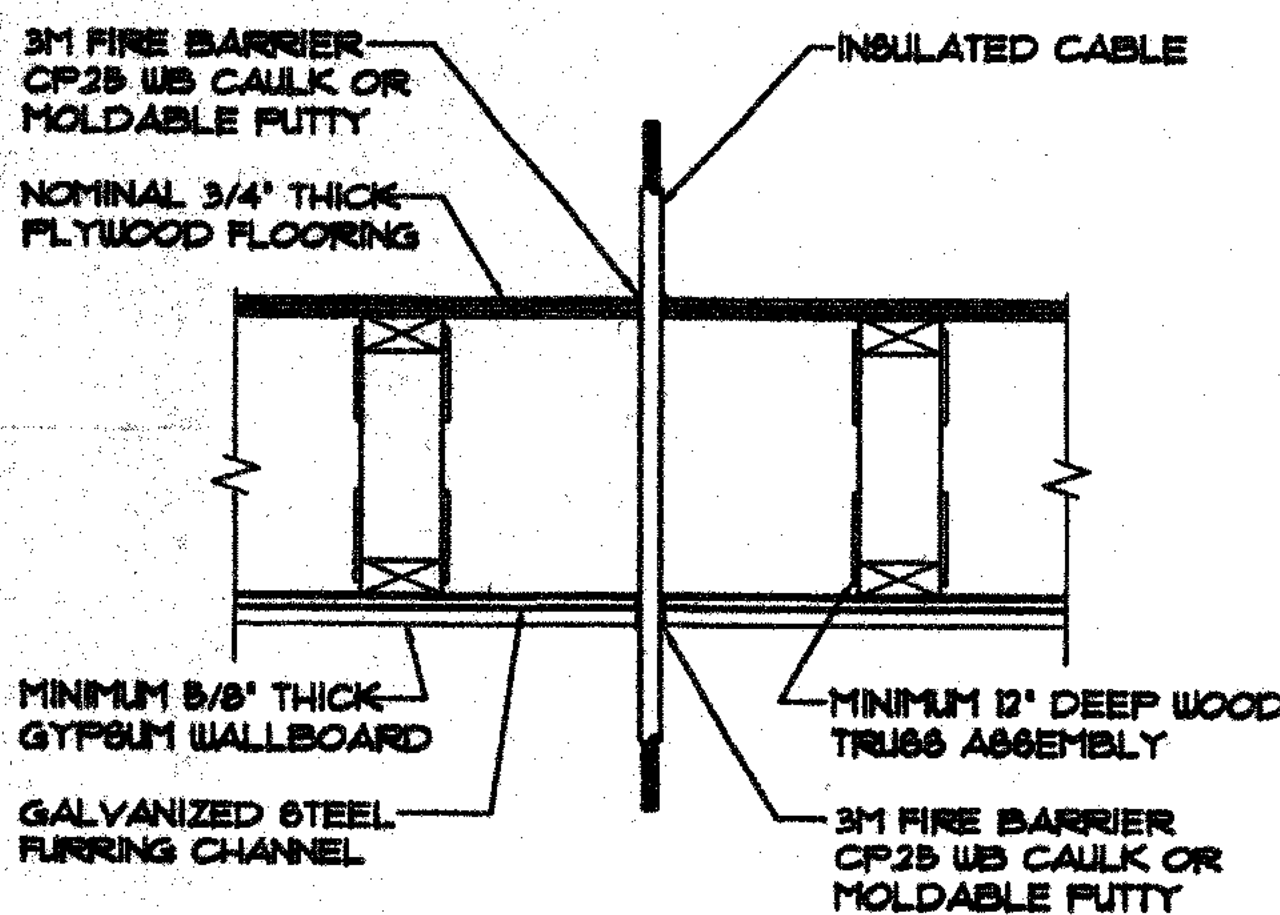
**5 METALLIC PIPE PENETRATION**  
U.L. NO. FC 1006

**SYSTEM DETAILS**

- DRAWING NUMBER: 3000-1005M
- SYSTEM JUSTIFICATION: UL THROUGH-PENETRATION FIRESTOP SYSTEM NO. FC600, PER ASTM E 84 (ANAL. 1470) FIRE TEST.
- ASSEMBLY: 1 1/2" RATED GYPSUM WALLBOARD AND CEILING ASSEMBLY OF THE 1 1/2" RATED DESIGN IN THE UL FIRE RESISTANCE DIRECTORY.
- RATING: F - 1 HR, T - 1 HR.
- PENETRATIONS PERMITTED: NOMINAL 4" O.D. OR HEAVIER STEEL PIPE.

**APPLICATION DETAILS**

- INSTALL THE FIRESTOP INTO THE BOTTOM SIDE OF THE FLOOR AND THE CEILING.
- 160MM ANNUAL SPACE IS 16".
- THE CP-25 UB CAULK IS TO BE FORCED INTO THE ANNULAR SPACE THROUGHOUT THE THICKNESS OF THE FLOORING AND CEILING. A 1/2" BEAD OF CAULK IS APPLIED TO THE PERIMETER OF THE PIPE AT ITS BOUNDS FROM THE TOP OF THE FLOORING AND THE UNDERSIDE OF THE CEILING.



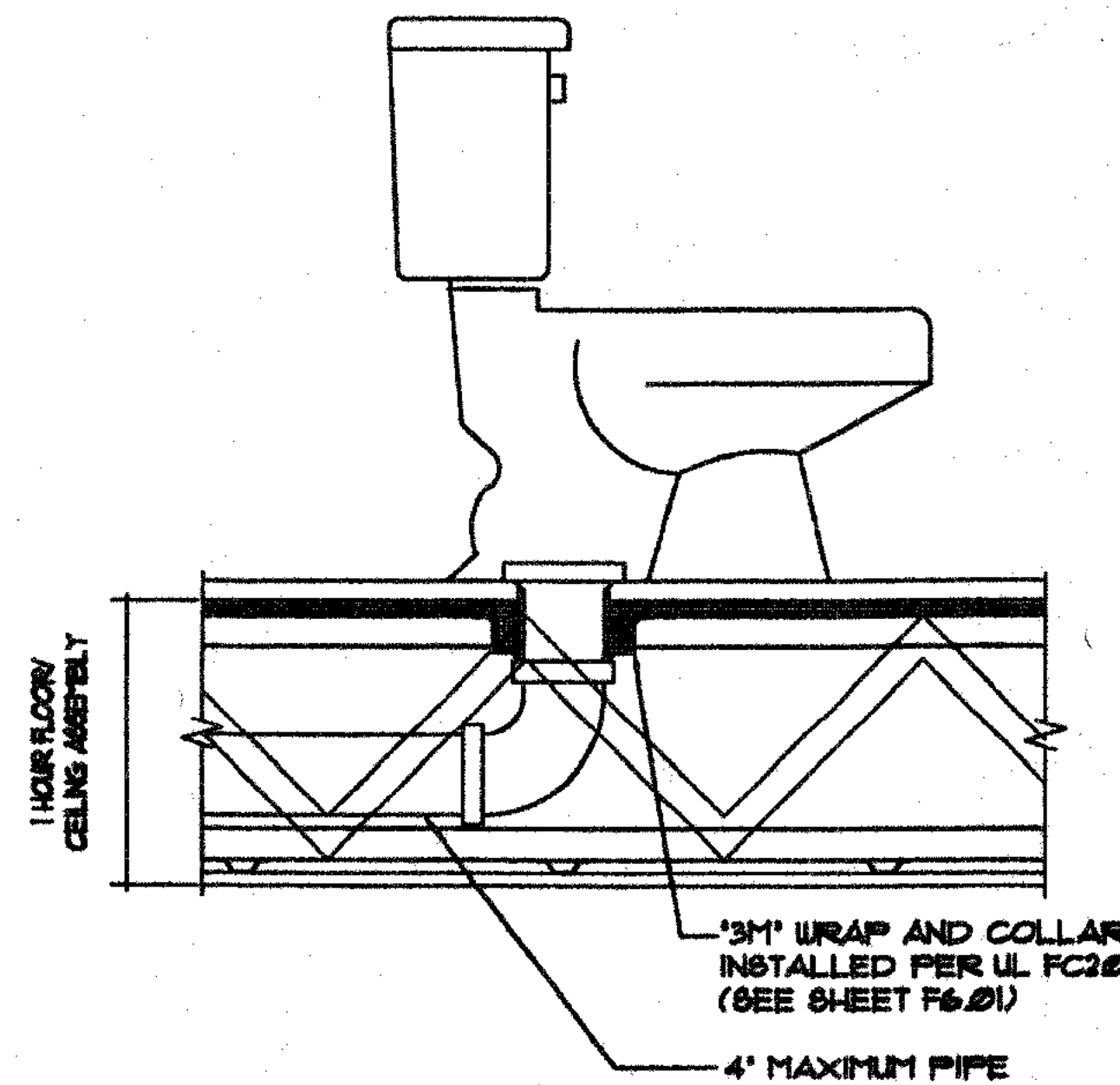
**7 ELECTRICAL CABLE PENETRATION**  
U.L. NO. FC 3001

**SYSTEM DETAILS**

- DRAWING NUMBER: 3000-1006M
- SYSTEM JUSTIFICATION: UL THROUGH-PENETRATION FIRESTOP SYSTEM NO. FC600, CONSTRUCTION A, PER ASTM E 84 (ANAL. 1470) FIRE TEST.
- ASSEMBLY: 1 1/2" RATED GYPSUM WALLBOARD AND CEILING ASSEMBLY OF THE 1 1/2" RATED DESIGN IN THE UL FIRE RESISTANCE DIRECTORY. MAXIMUM OPENING SIZE: 1 1/2".
- RATING: F - 1 HR, T - 1 HR.
- PENETRATIONS PERMITTED: MAXIMUM 10 PAIR - 24 AWG TELEPHONE CABLE, OR MAXIMUM 10 AWG - 3 CONDUCTOR TYPE (N.F.P.C.), MULTIPLE FIBER OPTICAL COMMUNICATION CABLE WITH A MAXIMUM 1/2" O.D., OR MAXIMUM 2 AWG - 18/3-CONDUCTOR POWER/CONTROL CABLE. PVC JACKETING.

**APPLICATION DETAILS**

- INSTALL THE FIRESTOP FROM THE TOP SIDE OF THE FLOOR AND BOTTOM SIDE OF THE CEILING.
- THE CP-25 UB CAULK OR MOLDABLE PUTTY IS TO BE FORCED INTO THE ANNULAR SPACE TO THE MAXIMUM EXTENT POSSIBLE. FLUSH WITH THE EXTERIOR OF THE PENETRATION SURFACE.
- FINISH SEALING WITH A 1/2" BEAD OF CAULK OR PUTTY APPLIED TO THE PERIMETER OF THE CABLE AT ITS BOUNDS FROM THE TOP OF THE FLOORING AND THE UNDERSIDE OF THE CEILING.

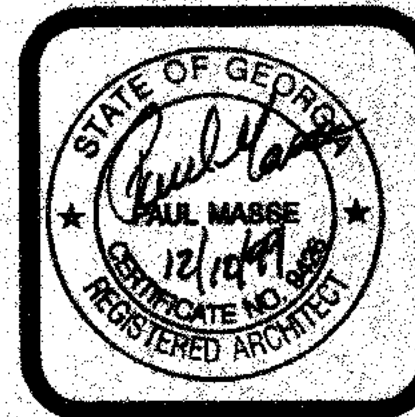


**8 PENETRATION AT TOILET**  
U.L. NO. FC 2012

**NOTE:**

PENETRATIONS FOR HVAC CONDENSATE, SUCTON, THERMOSTAT, AND ELECTRICAL SHALL BE INDIVIDUAL AND PROTECTED AS INDICATED HERE. NO GANG PENETRATIONS ARE ALLOWED.

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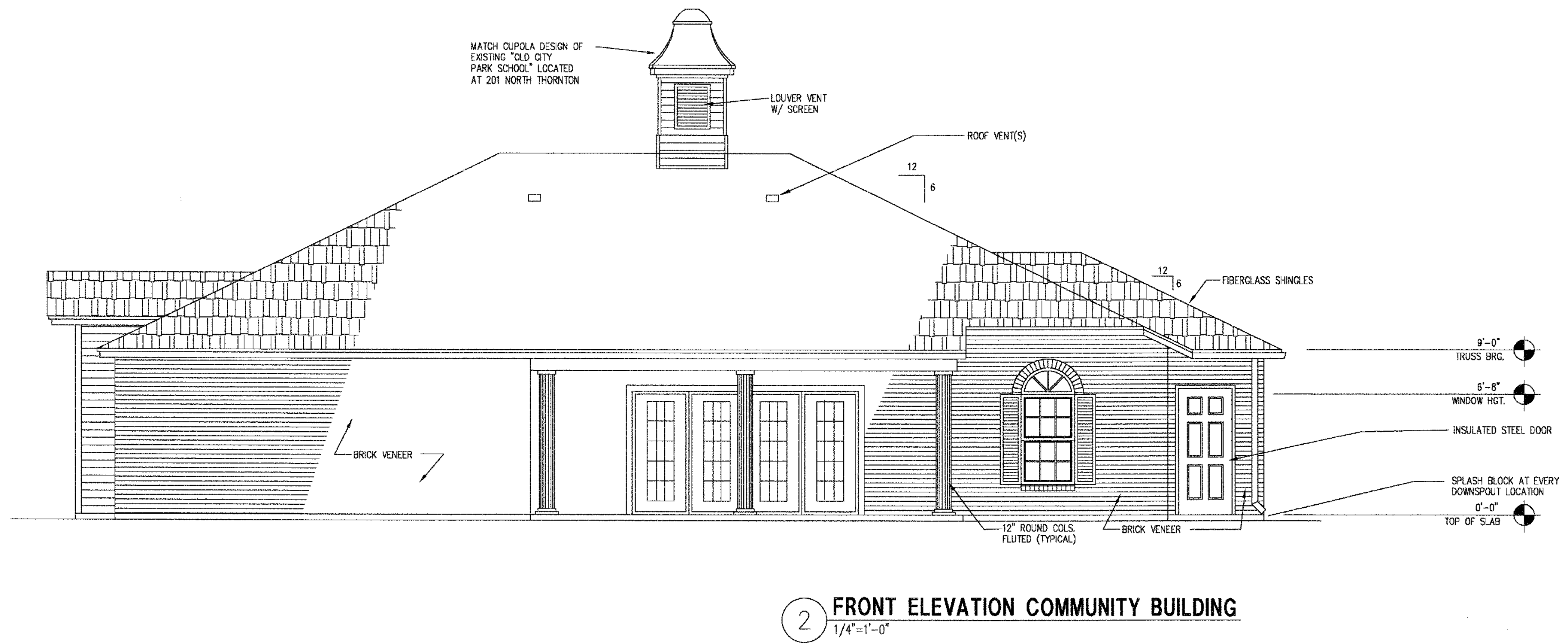
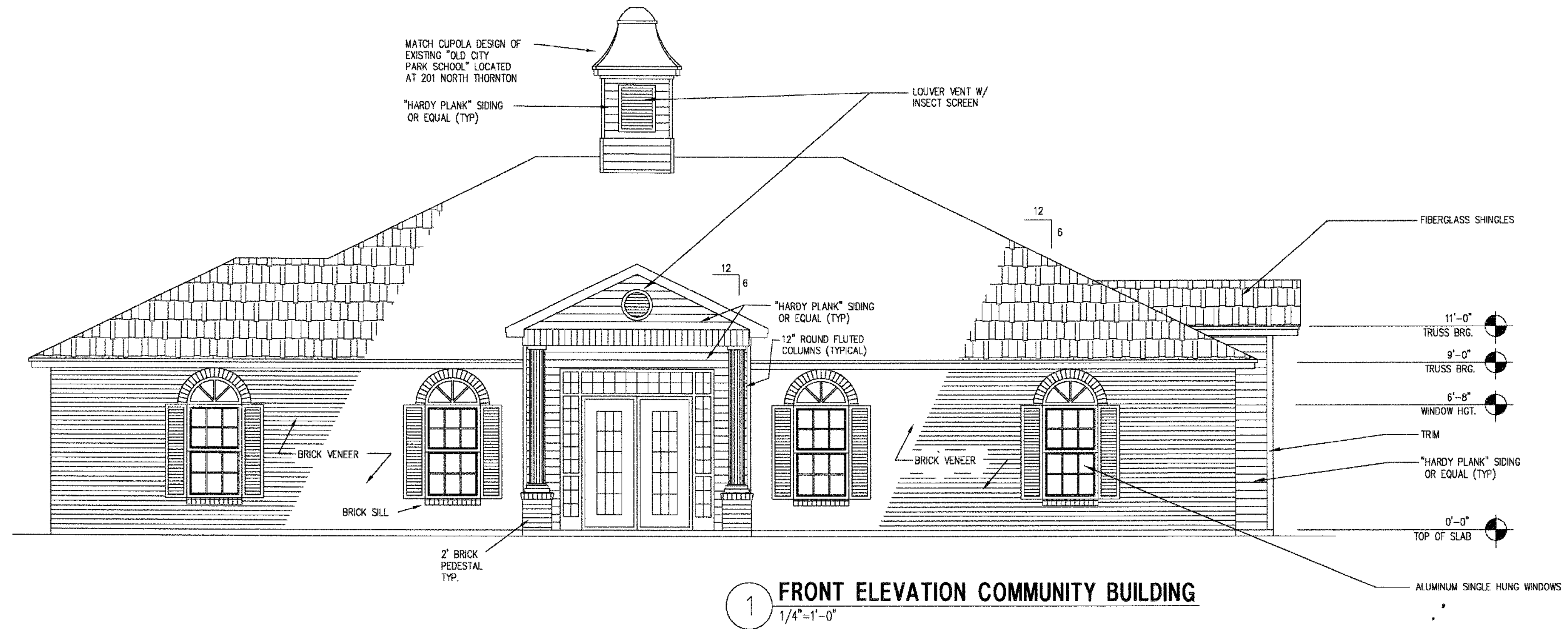
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designers & architects  
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**DALTON FLATS**  
Dawnville Road  
Dalton, Georgia

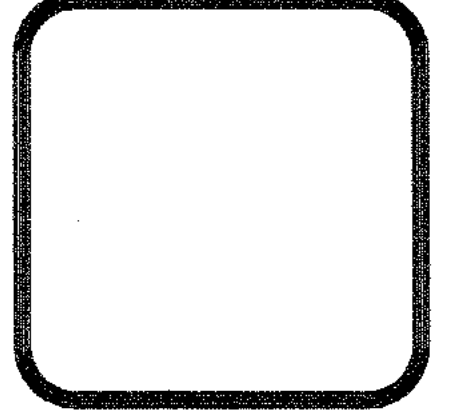
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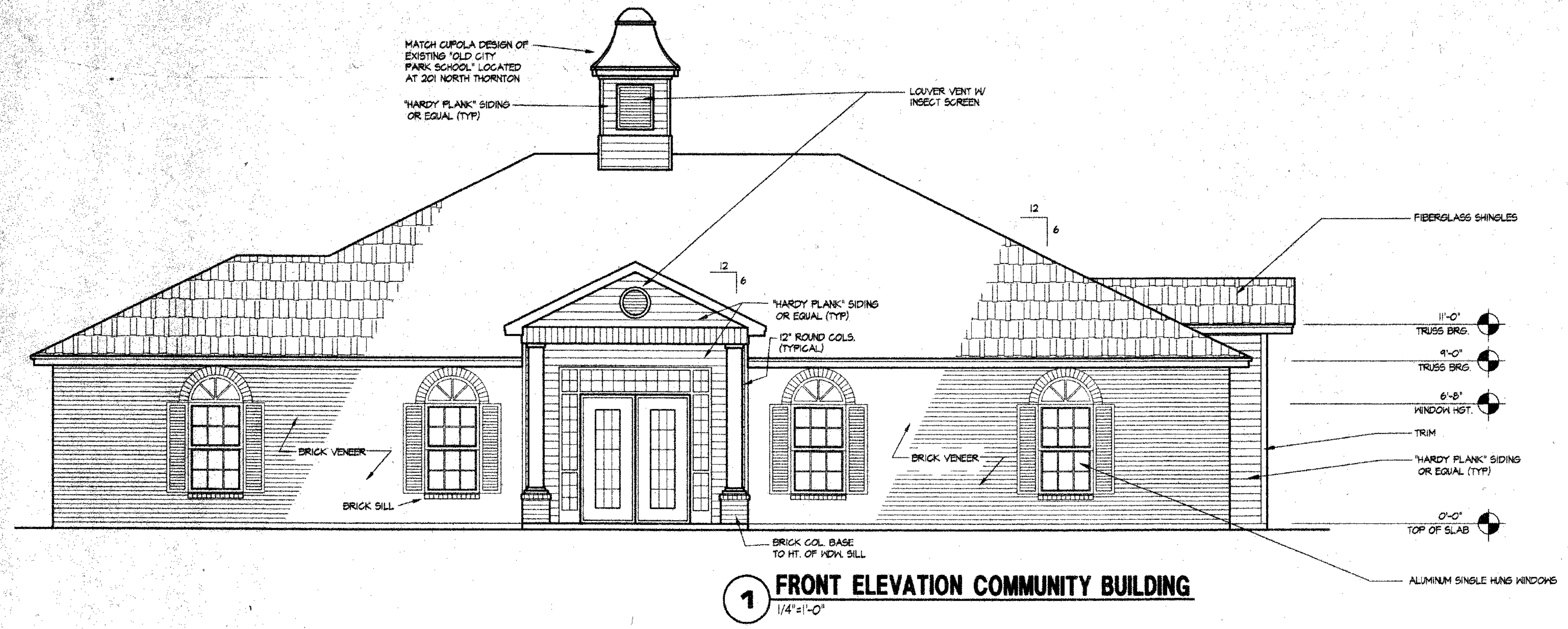


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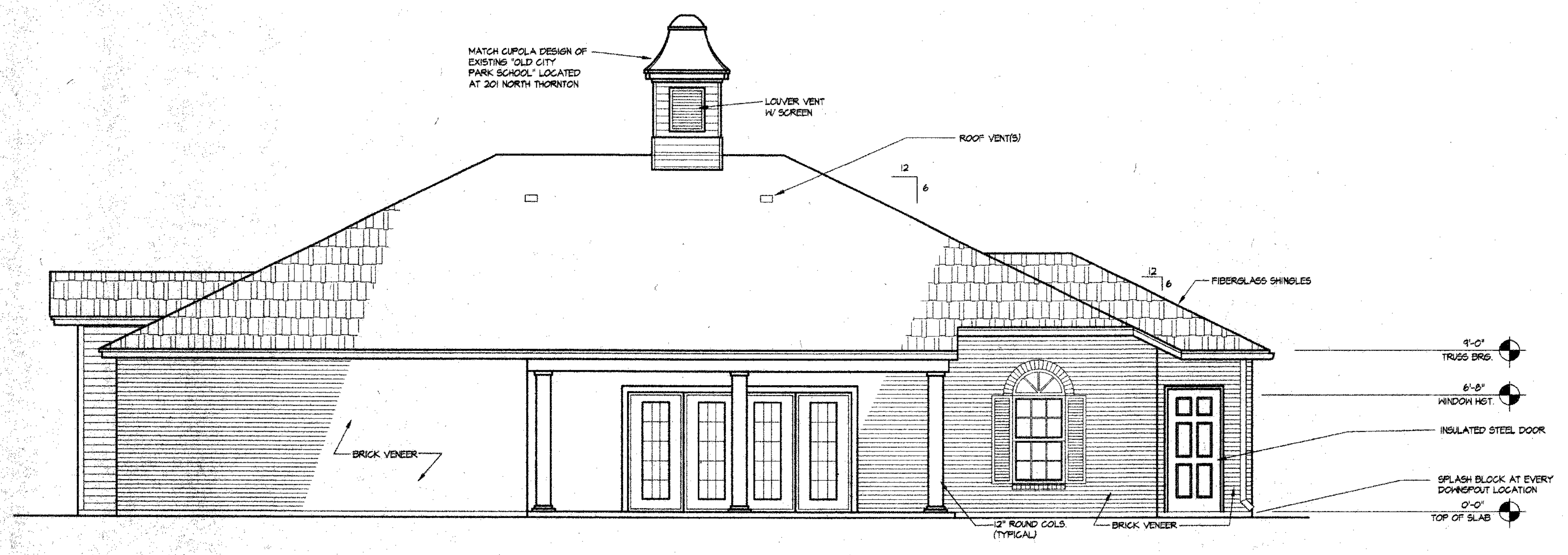
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Dalton, Georgia

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OF 1

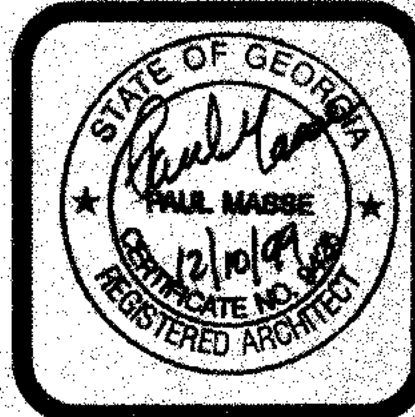


**1 FRONT ELEVATION COMMUNITY BUILDING**  
1/4"=1'-0"



**2 FRONT ELEVATION COMMUNITY BUILDING**  
1/4"=1'-0"

REVISIONS	DATE



**PHM Ltd.**  
designers & architects  
504B City Bldg., Suite 309, Waycross, Georgia 31501

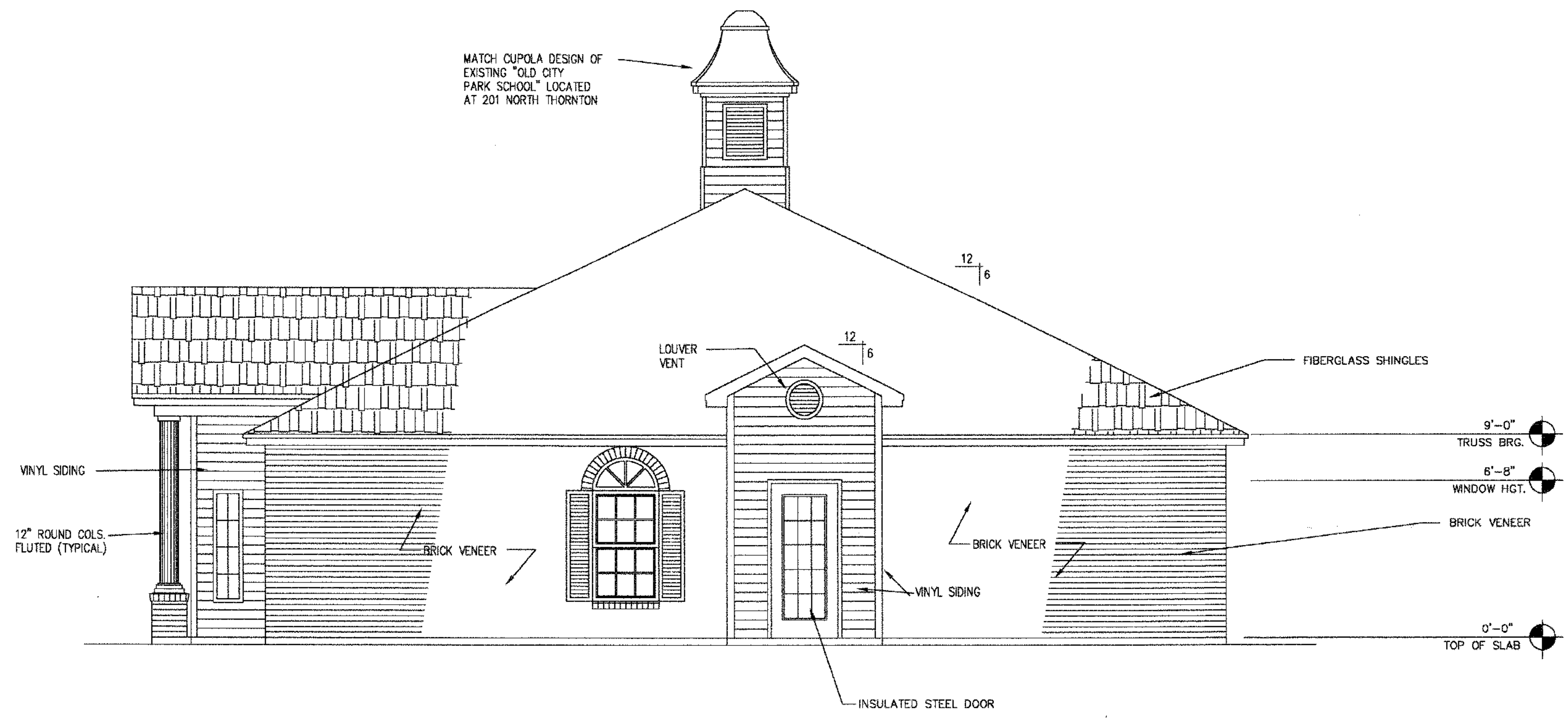
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Dawnville Road  
Dalton, Georgia

DRAWN
CHECKED
DATE 12/09/99
SCALE AS NOTED
JOB NUMBER

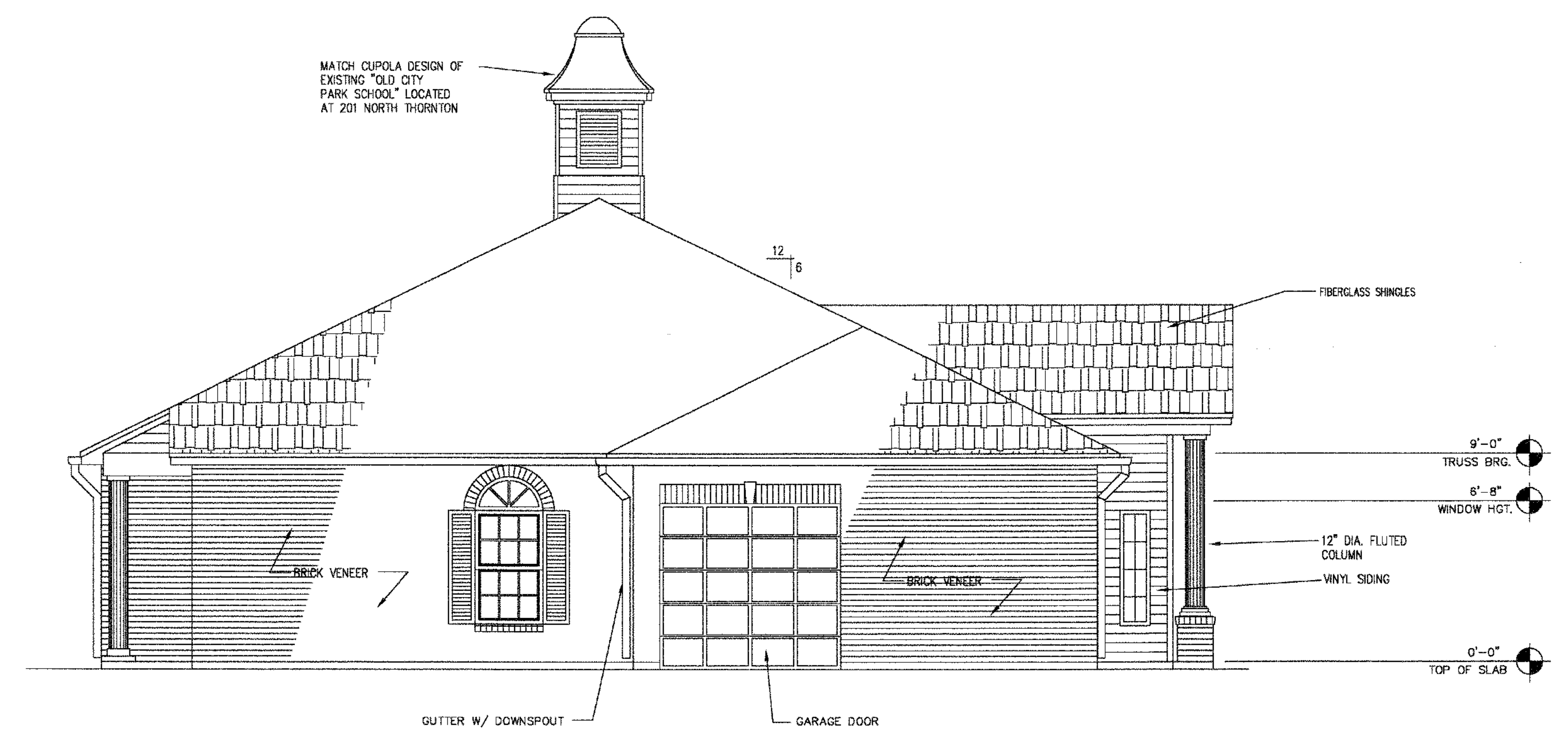
SHEET NO.  
**A-13**  
OF



REVISIONS	DATE



1 RIGHT SIDE ELEVATION COMMUNITY BUILDING  
1/4"=1'-0"



2 LEFT SIDE ELEVATION COMMUNITY BUILDING  
1/4"=1'-0"

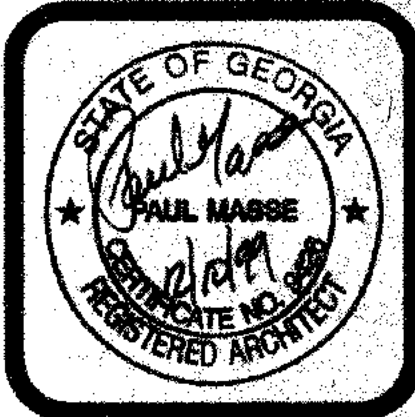
**PHM Ltd.**  
designers & architects  
5048 City Blvd., Suite 309, Waycross, Georgia 31501

**DALTON FLATS**  
Dawnville Road  
Dalton, Georgia

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JOB NUMBER

SHEET NO.  
**A-14**  
OF

REVISIONS	DATE

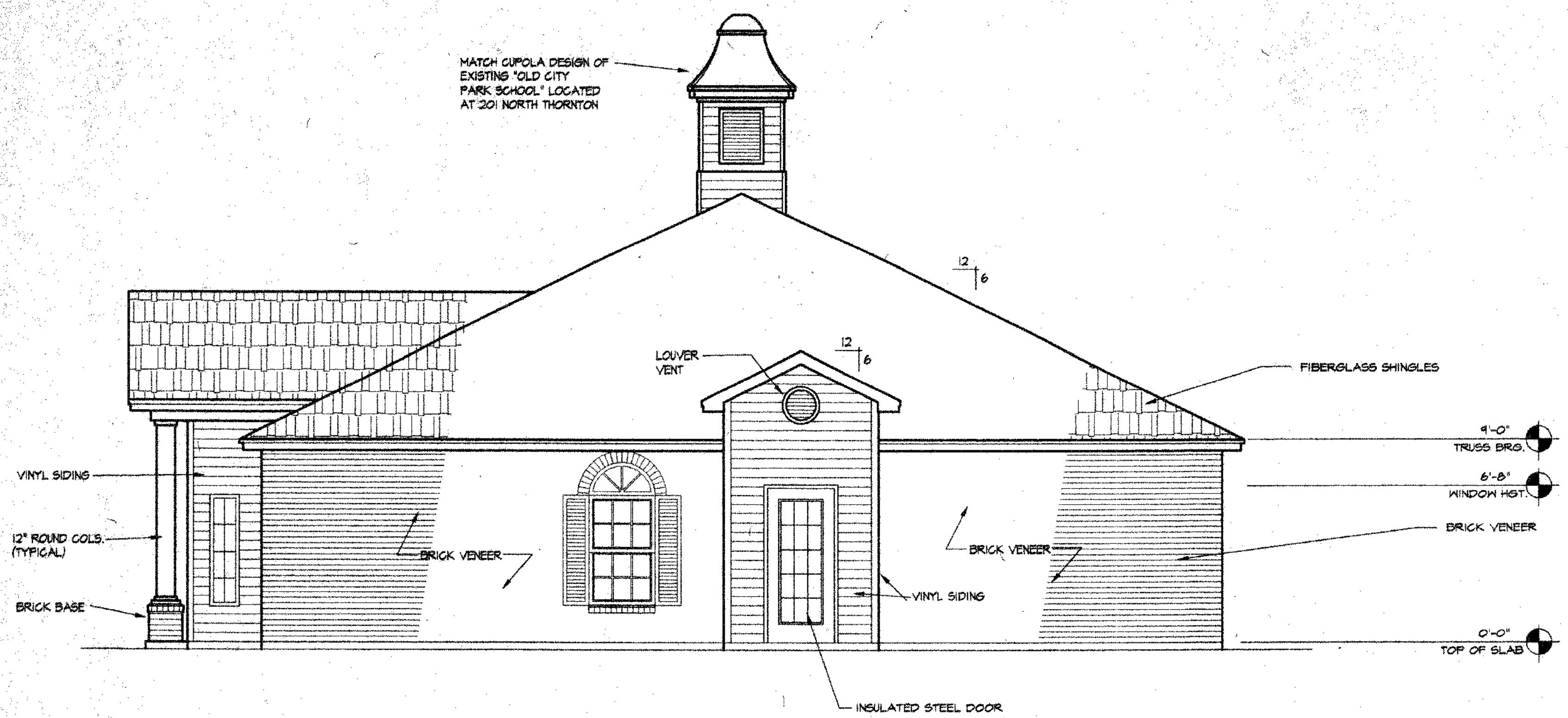


**PHM Ltd.**  
 designers & architects  
 5048 City Blvd., Suite 359, Waycross, Georgia 31501

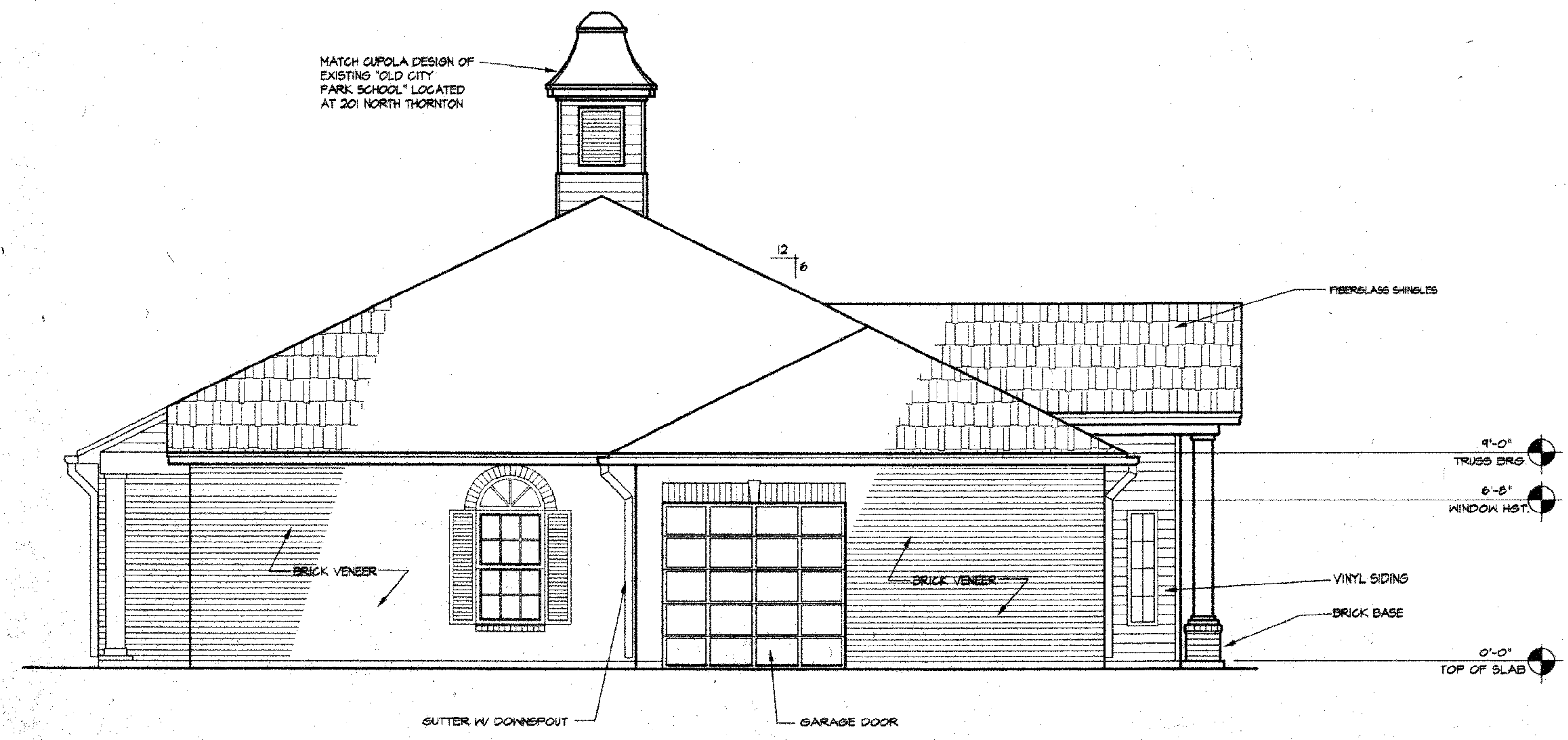
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 Dawnville Road  
 Dalton, Georgia

DRAWN
CHECKED
DATE 12/04/99
SCALE AS NOTED
JOB NUMBER

SHEET NO.  
**A-14**  
 OF

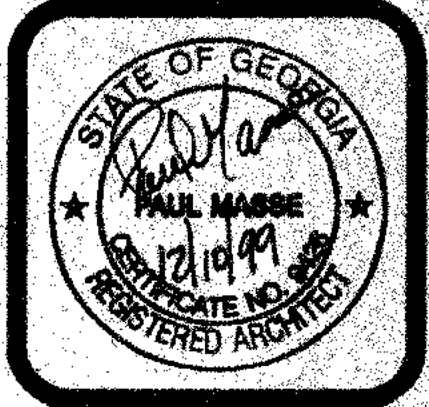


**1 RIGHT SIDE ELEVATION COMMUNITY BUILDING**  
 1/4"=1'-0"



**2 LEFT SIDE ELEVATION COMMUNITY BUILDING**  
 1/4"=1'-0"

REVISIONS	DATE

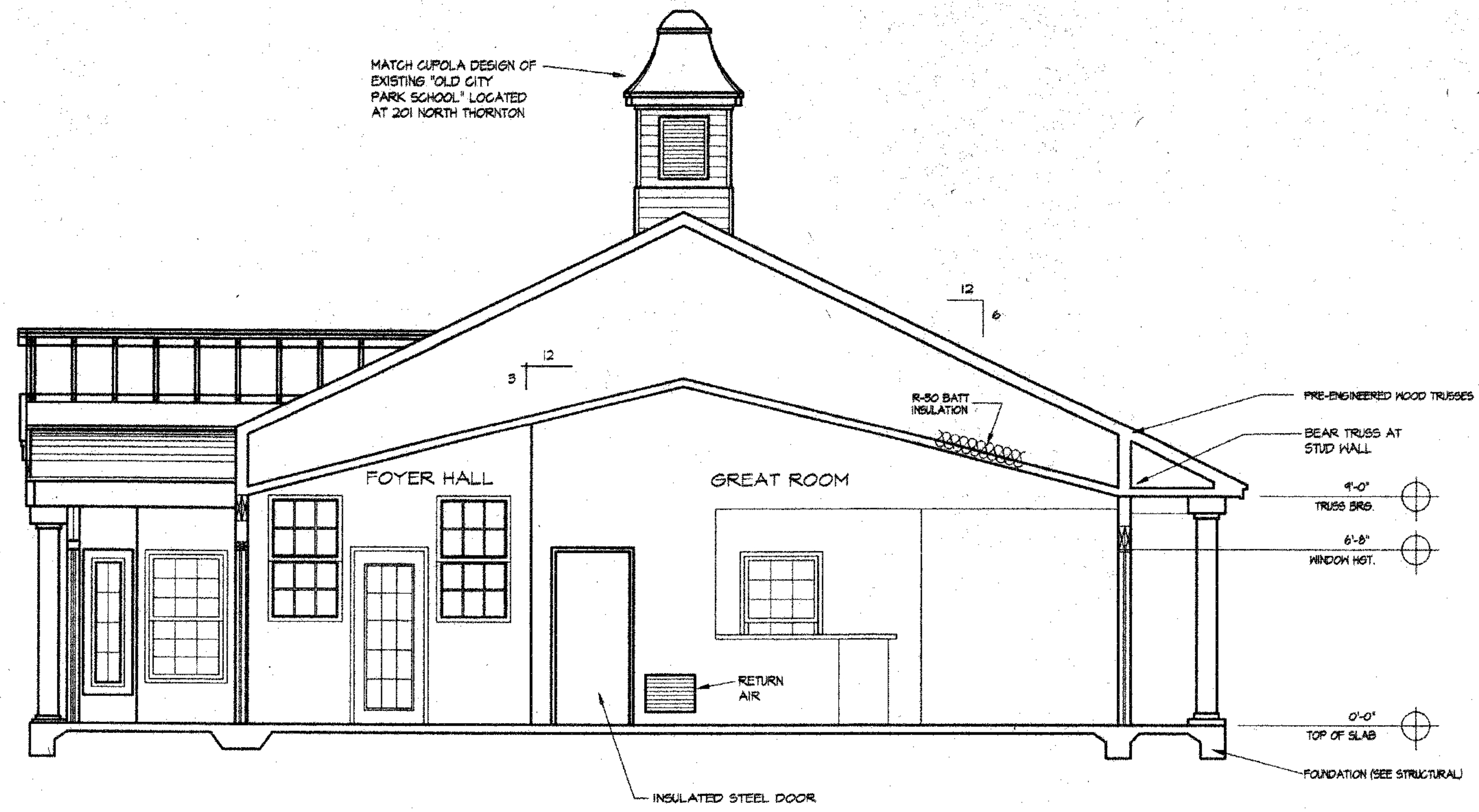


**PHM Ltd.**  
 designers & architects  
 504B City Bld., Suite 359, Waycross, Georgia 31501

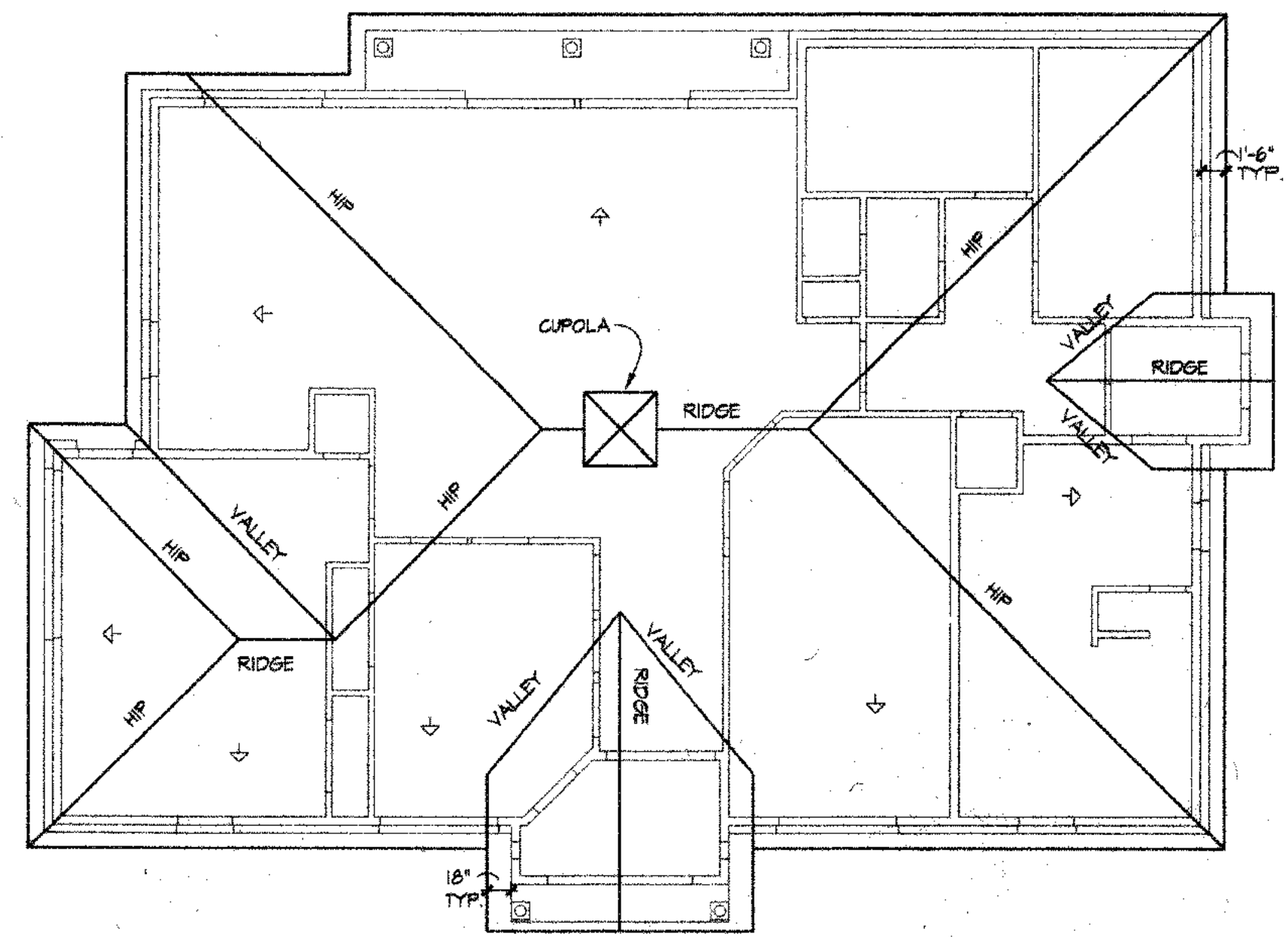
**DALTON FLATS**  
 Dawnville Road  
 Dalton, Georgia

DRAWN  
 CHECKED  
 DATE 12/09/99  
 SCALE AS NOTED  
 JOB NUMBER

SHEET NO.  
**A-15**  
 OF 1

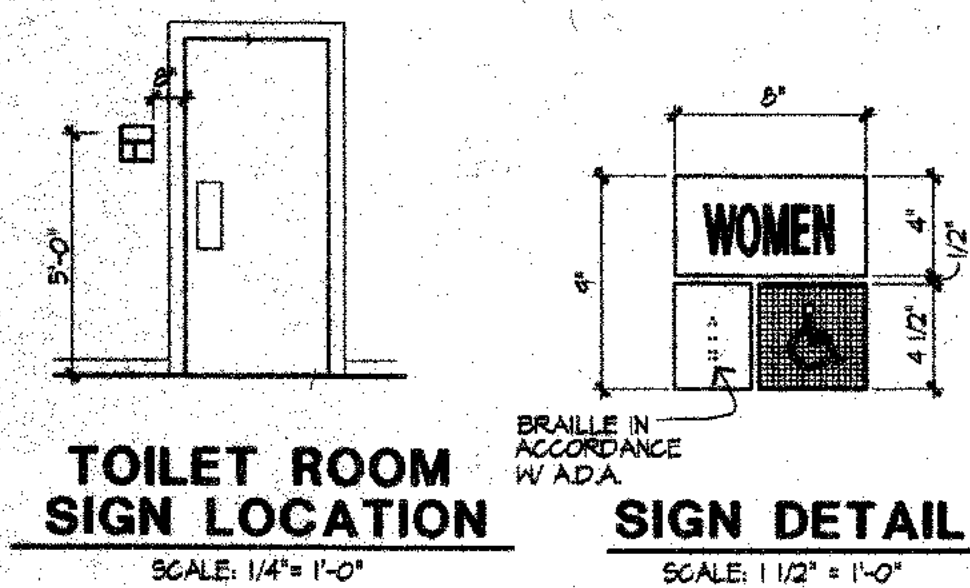
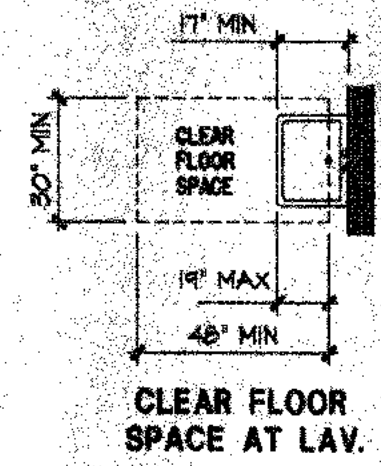


**1 BUILDING SECTION**  
 1/4"=1'-0"

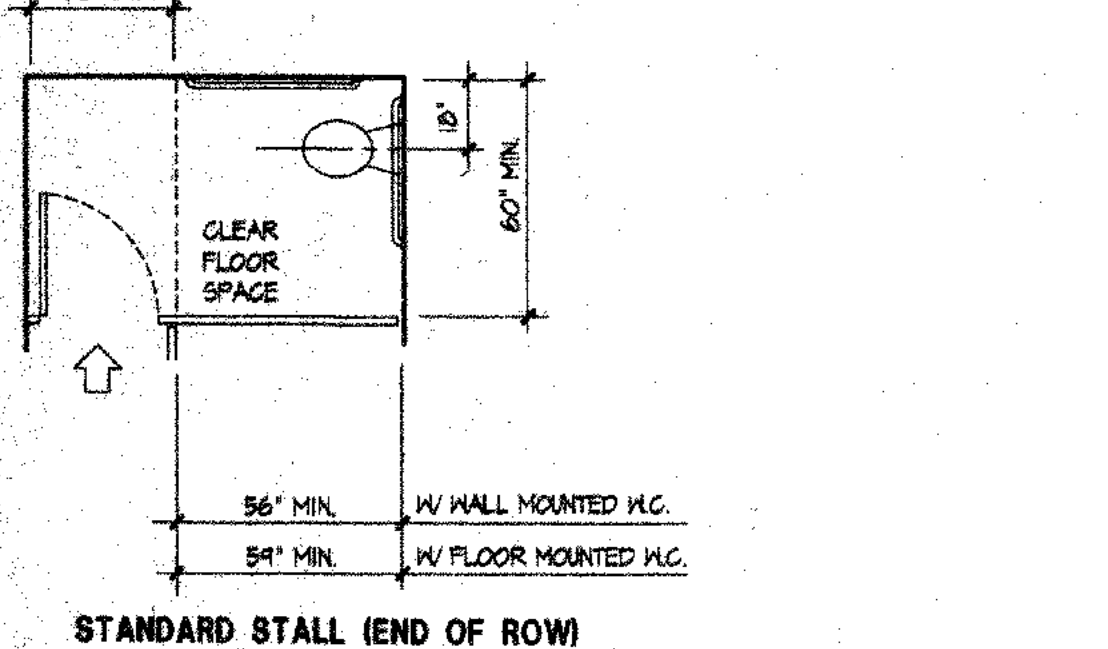
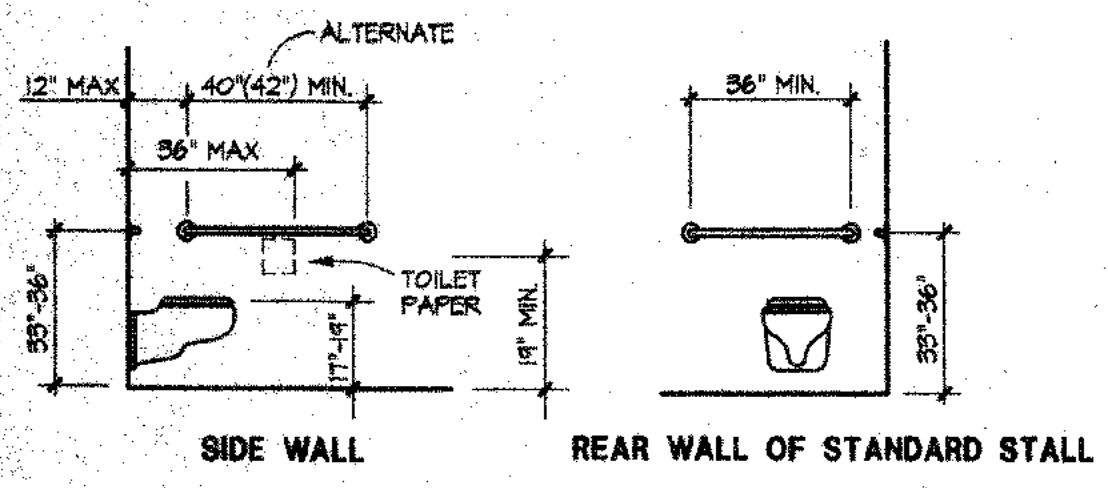


**2 ROOF PLAN**  
 1/4"=1'-0"

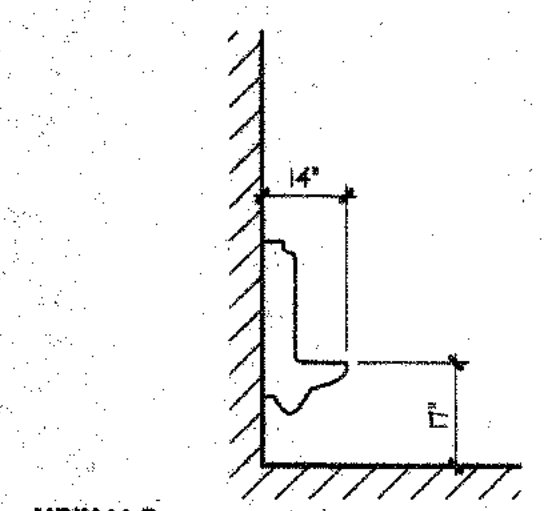
- NOTES:**
- LAV. AND WATER CLOSETS TO BE LEVER TYPE CONTROL.
  - FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. CONTROLS FOR FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF TOILET AREAS NO MORE THAN 44" ABOVE THE FLOOR.
  - FLR. DRNS. MUST BE LOCATED AT REMOTE AREA.
  - GRAB BAR AND SEAT SHALL WITHSTAND A LOAD OF NOT LESS THAN 250 POUNDS APPLIED AT ANY POINT.
  - PROVIDE 1/2" CLEARANCE BETWEEN GRAB BAR AND WALL.
  - HOT WATER AND DRAIN PIPES UNDER LAV. SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT.
  - CHECK WITH OWNER BEFORE INSTALLING TOILET ROOM ACCESSORIES.
  - IN ALL AREAS SUBJECT TO FREEZING, ALL WATER LINES SHALL BE RUN UNDER SLAB OR IN WALLS OF HEATED ROOMS.



**4 SIGN AT TOILET RM.**  
SCALE: NO SCALE

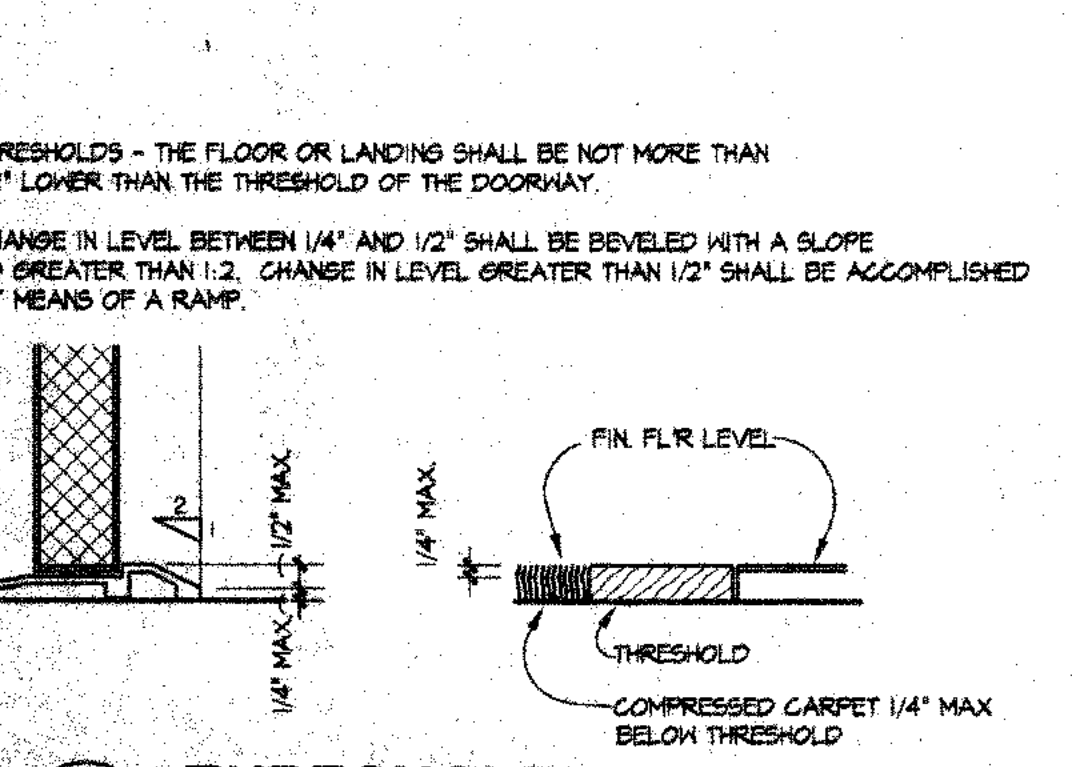


**5 TOILET PARTITIONS**  
SCALE: NO SCALE

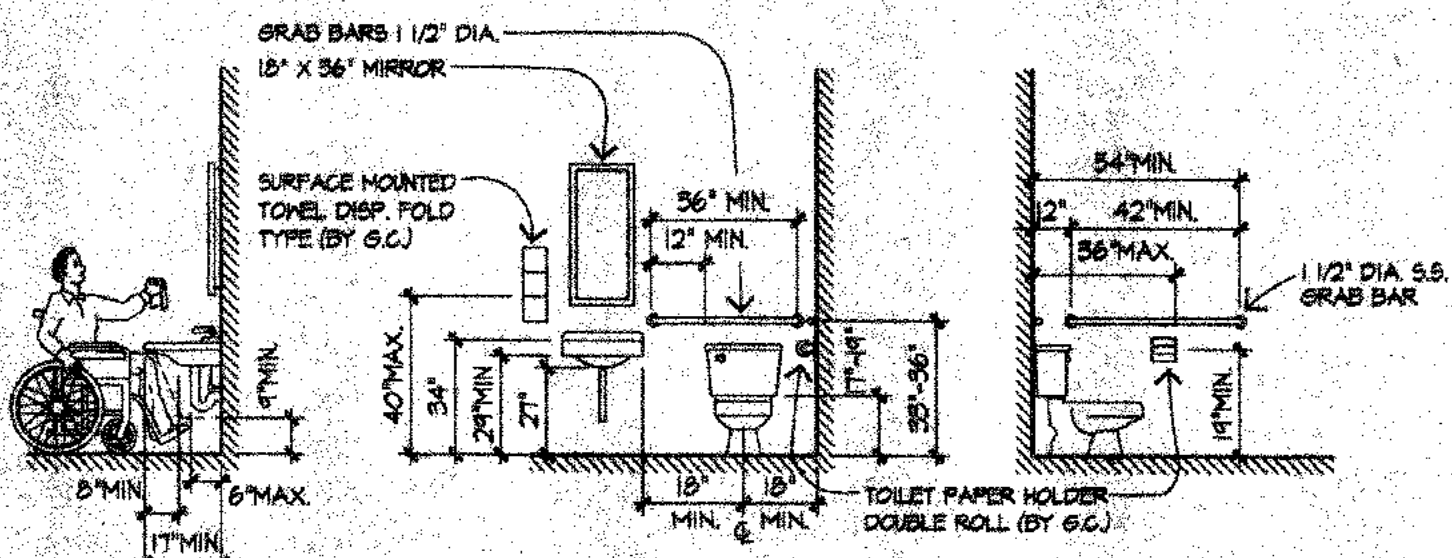


- HEIGHT URINALS SHALL BE STALL-TYPE, OR WALL-HUNG WITH A TAPERED ELONGATED RIM MOUNTED AT A MAXIMUM OF 17" (430 MM) ABOVE THE FINISH FLOOR. A TAPERED ELONGATED RIM IS ONE THAT NARROWS TOWARD THE FRONT TO ALLOW A WHEELCHAIR USER TO STRADDLE THE BASIN AND WHICH EXTENDS AT LEAST 1/4" FROM THE VERTICAL SURFACE ON WHICH THE FIXTURE IS MOUNTED.
- CLEAR FLOOR SPACE. A CLEAR FLOOR SPACE 30" BY 48" (760 MM BY 1220 MM) SHALL BE PROVIDED IN FRONT OF URINALS TO ALLOW FORWARD APPROACH. THIS CLEAR SPACE SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE. URINALS INSTALLED IN ALCOVES DEEPER THAN 24" IN REQUIRE ADDITIONAL MANEUVERING AREA. URINAL SHIELDS THAT DO NOT EXTEND BEYOND THE FRONT EDGE OF THE URINAL RIM MAY BE PROVIDED WITH 24" (610 MM) CLEARANCE BETWEEN THEM.
- FLUSH CONTROLS. FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC, AND SHALL BE MOUNTED NO MORE THAN 44" (1120 MM) ABOVE THE FINISH FLOOR.

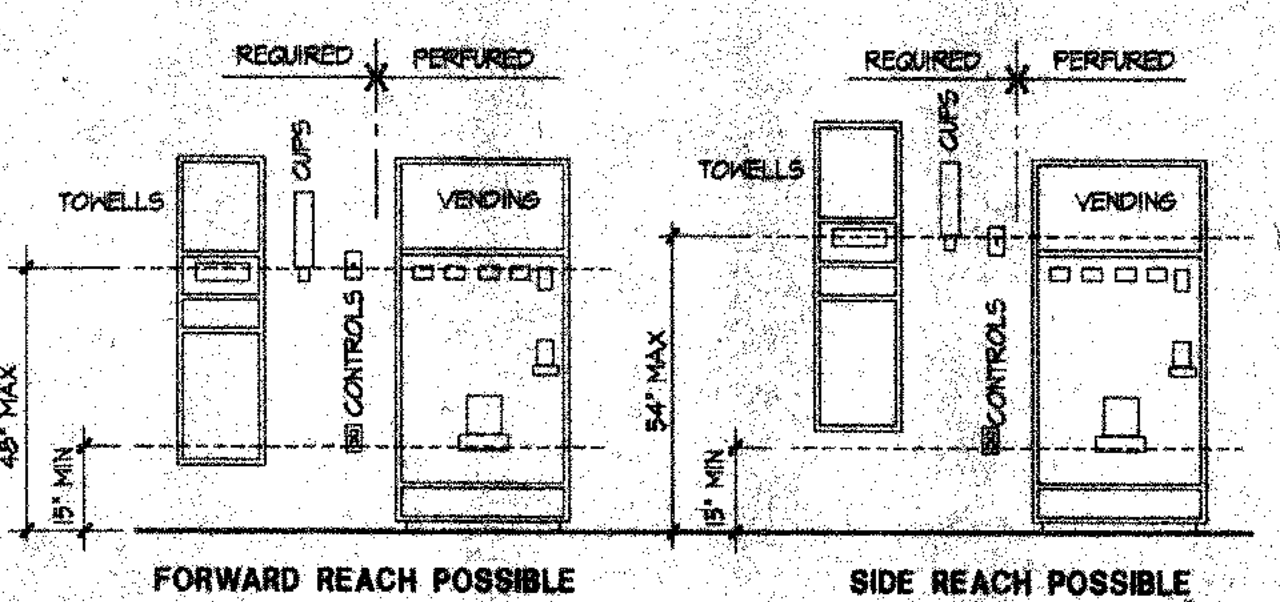
**6 URINAL**  
SCALE: NO SCALE



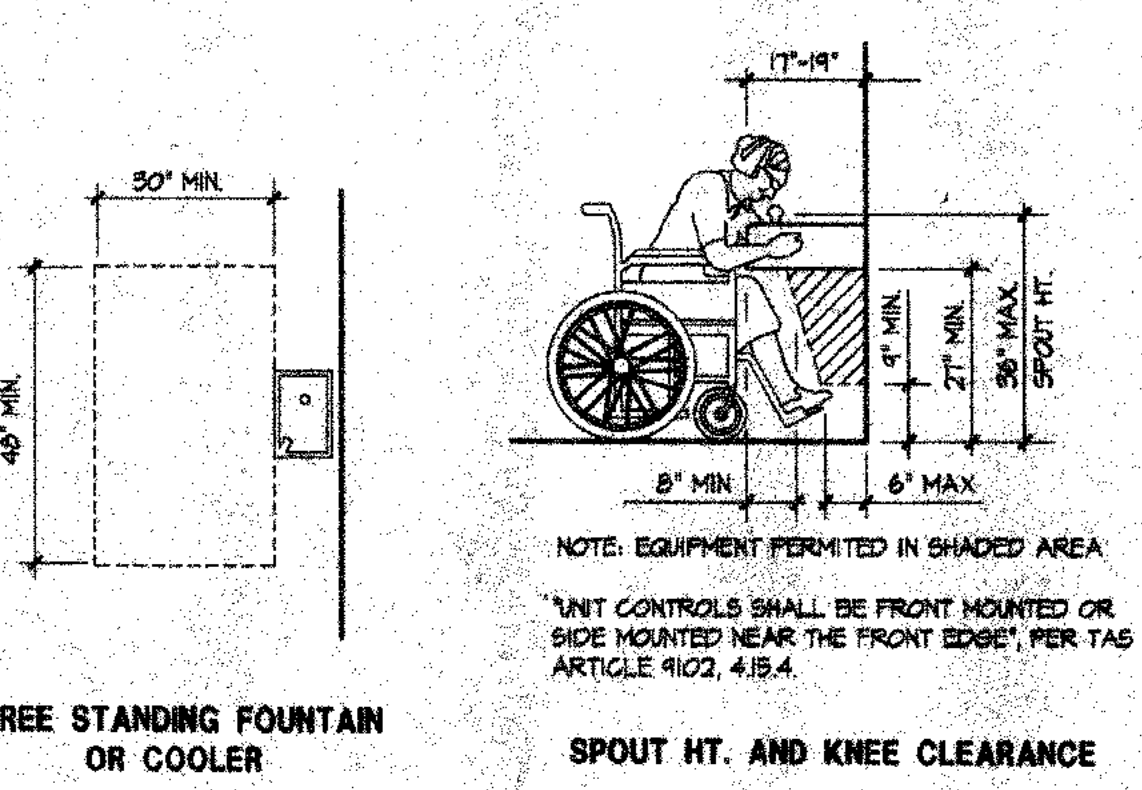
**7 THRESHOLD**  
SCALE: NO SCALE



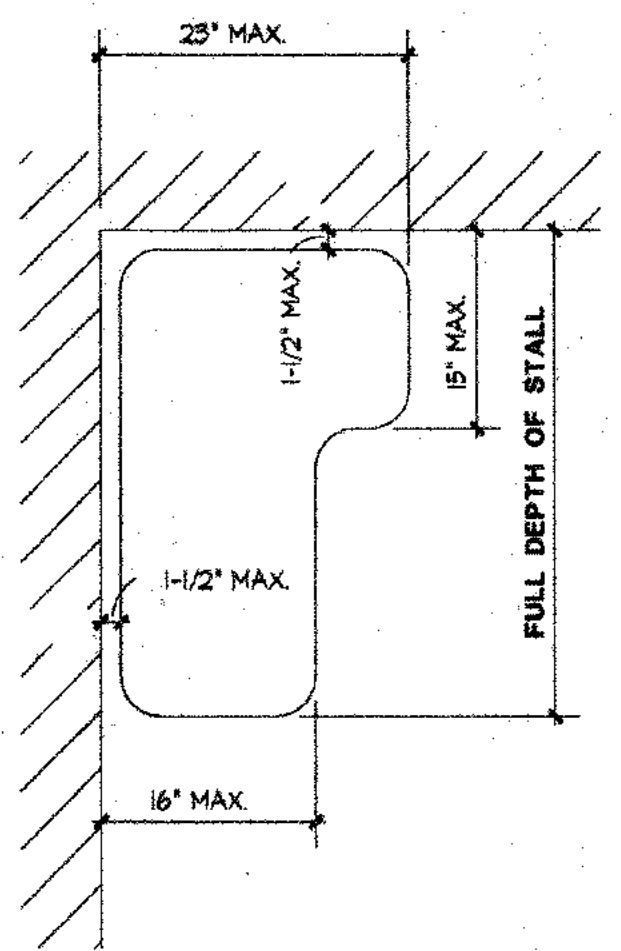
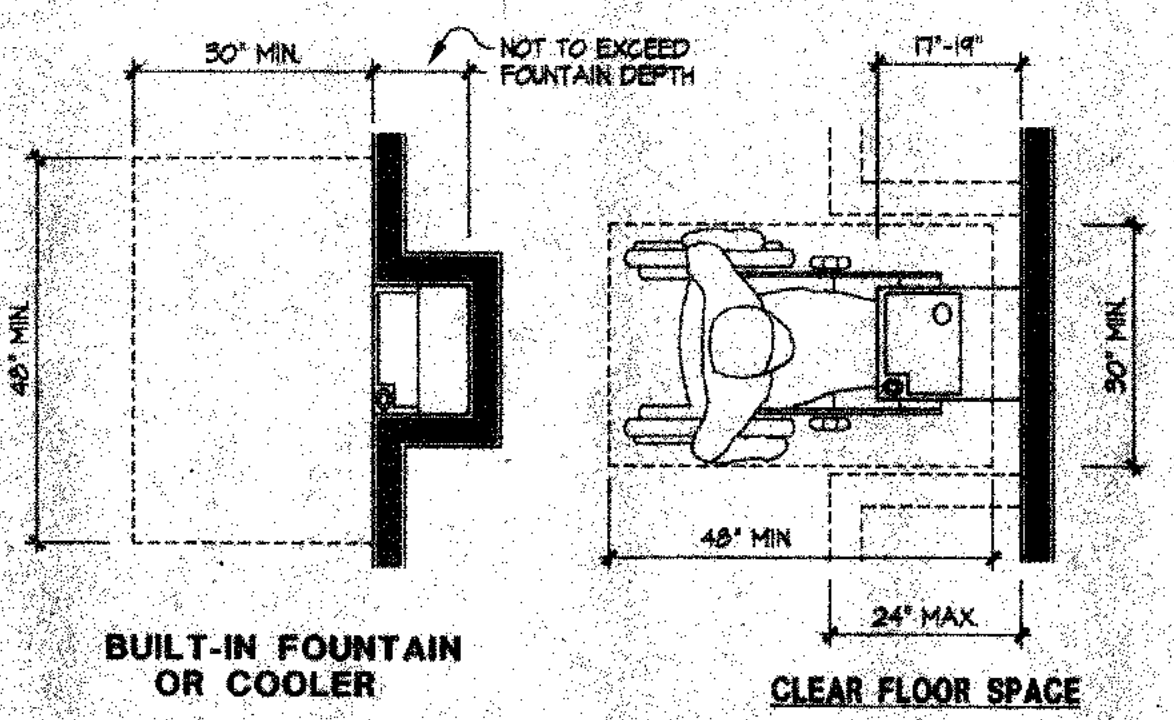
**1 TOILET ROOM ELEVATIONS**  
SCALE: 1/4" = 1'-0"



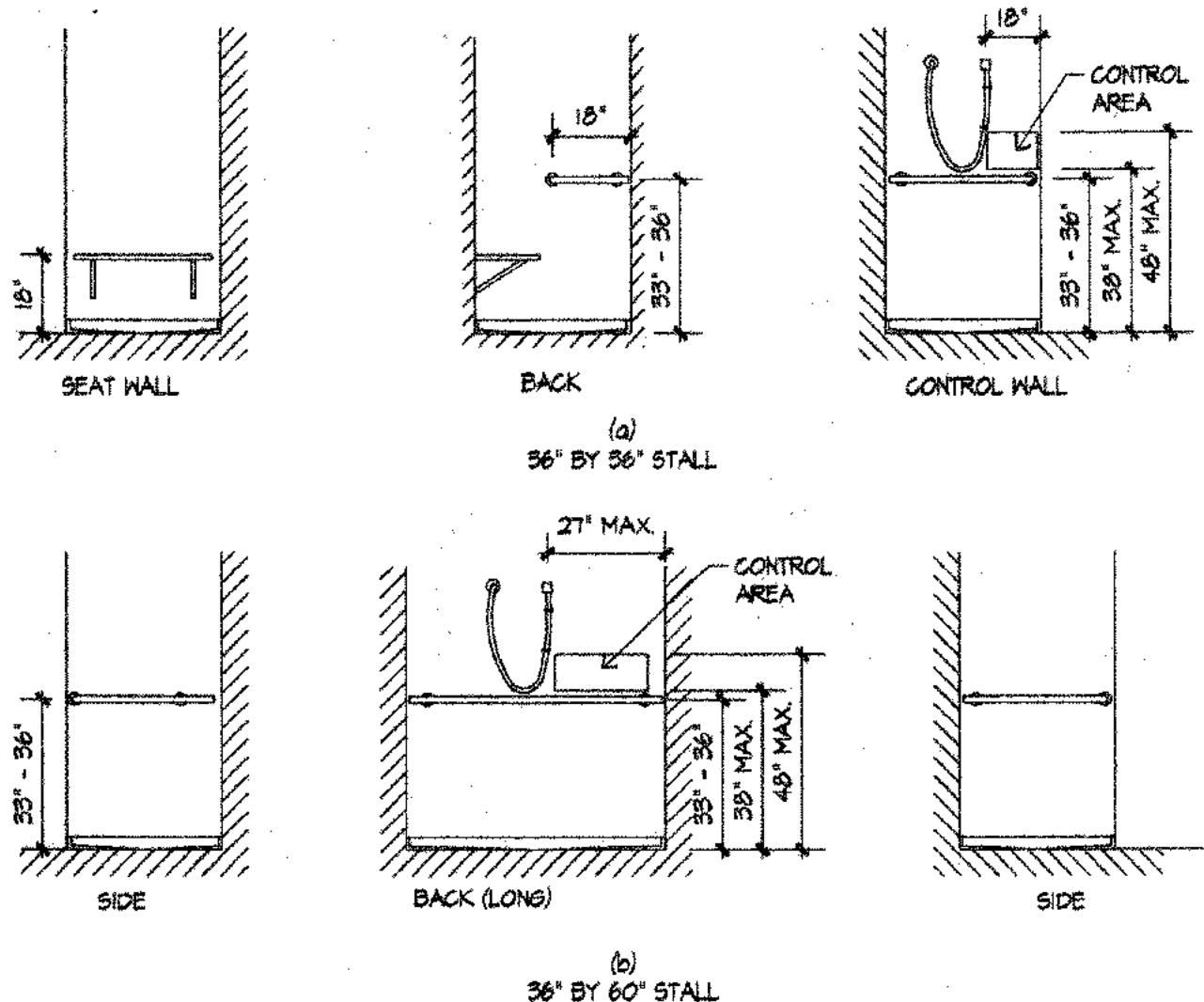
**2 ALLOWABLE REACHES**  
SCALE: NO SCALE



**3 E.W.C.**  
SCALE: NO SCALE

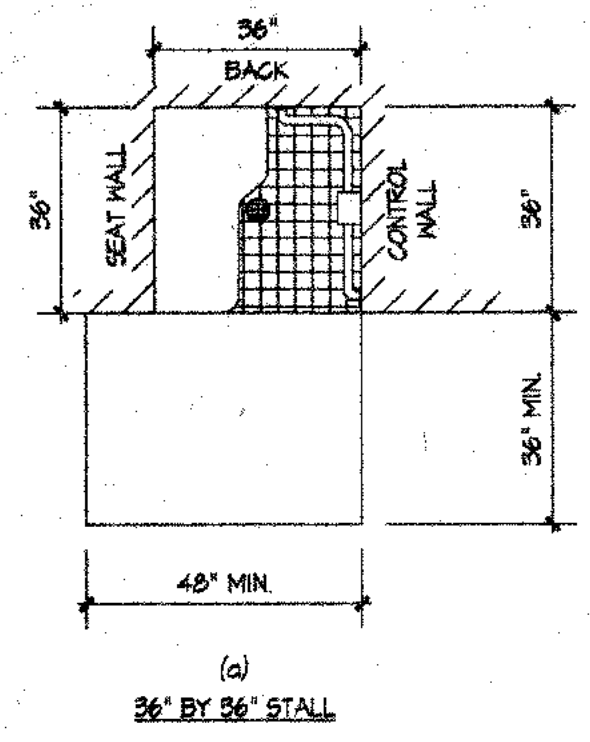


**8 SHOWER SEAT DESIGN**  
N.T.S.

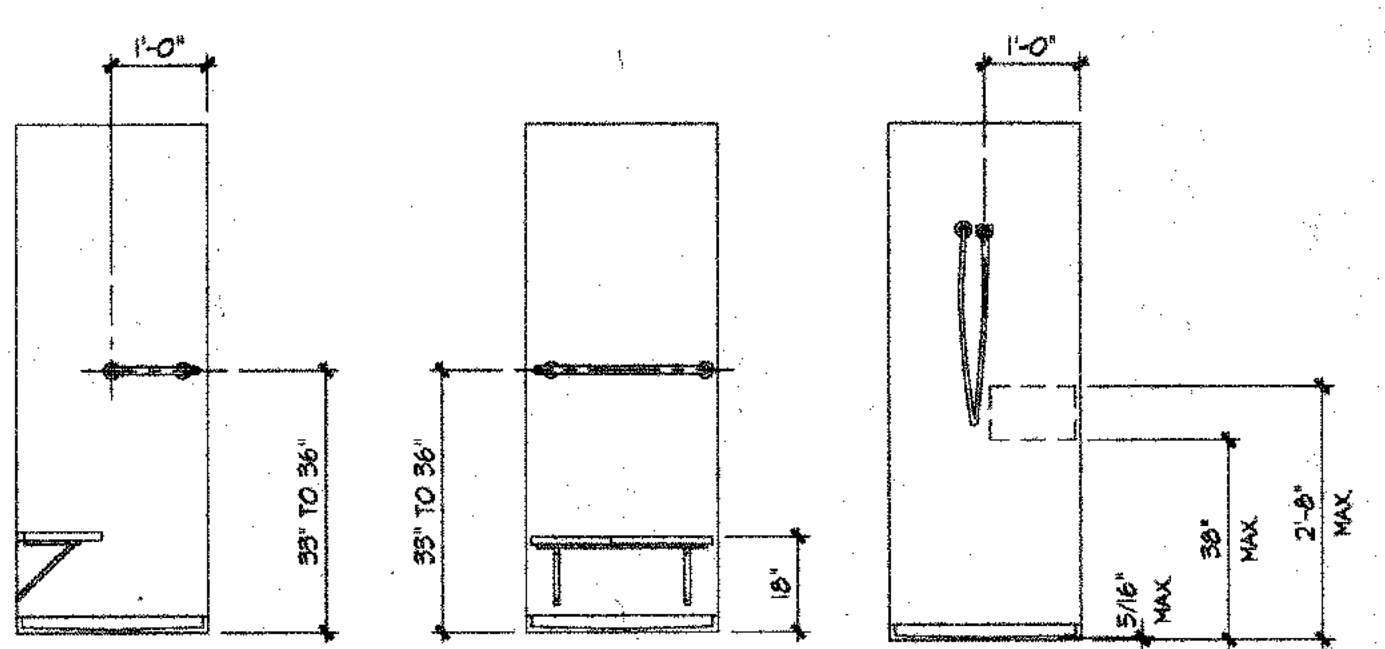


**ADA GENERAL NOTES**

- ALL WORK SHALL BE IN COMPLIANCE WITH LATEST A.D.A. REGULATIONS AND F.W.B.C. CHAP. #31, ORDINANCE AMENDMENTS #11388, CAGO/ANSI-117.1, 1992. ADA COMPLIANCE - BARRIER REMOVAL PLAN.
  - HANDICAPPED PARKING - PROVIDE AT LEAST ONE STANDARD ACCESSIBLE PARKING SPACE PER EVERY 25 PARKING SPACES. ACCESSIBLE SPACES SHALL HAVE THE FOLLOWING DIMENSIONS: PARKING SPACE WIDTH - 96" ACCESS AISLE WIDTH - 60" VERTICAL CLEARANCE - 80"
  - CURB RAMPS - PROVIDE AT LEAST ONE CURB RAMP PER BUILDING. RAMP SHALL BE IN CLOSE PROXIMITY OF THE PROVIDED PARKING SPOT. LEAST POSSIBLE SLOPE SHALL BE USED. MAXIMUM SLOPE SHALL BE 1:12. TRANSITION SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. MAXIMUM SLOPE OF ADJACENT SURFACES 1:20 - CLEAR WIDTH MIN 36". SURFACE SHALL BE FIRM, STABLE AND SLIP RESISTANT.
  - SIGNAGE - ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- PROVIDE HANDICAP GRAPHICS AT H.C. RESTROOM(S) PER A.D.A. REQUIREMENTS.
- ALL DOOR CLOSURES SHALL MEET A.D.A. STANDARDS. OPENING (SECTION 4.13.11), CLOSING (SECTION 4.13.10)
- PROVIDE SMOKE ALARMS IN ALL RESTROOMS PER A.D.A. STANDARDS.



**10 SHOWER SIZES AND CLEARANCES**  
N.T.S.

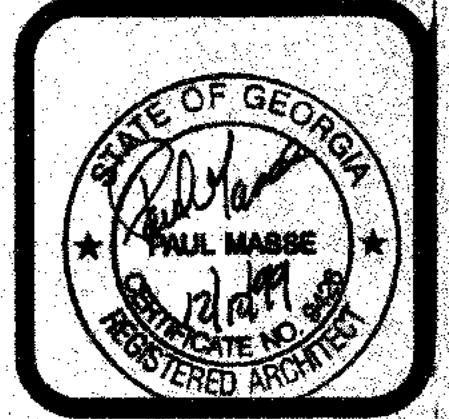


**11 A.D.A. SHOWER STALL**  
1/2" = 1'-0"

**ADA HARDWARE NOTES:**

- THRESHOLDS AT DOORWAYS. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4" (19 MM) IN HEIGHT FOR EXTERIOR SLIDING DOORS OR 1/2" (13 MM) FOR OTHER TYPES OF DOORS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
- DOOR HARDWARE. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. WHEN SLIDING DOORS ARE FULLY OPEN, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48" (1220 MM) ABOVE FINISHED FLOOR.
- DOOR CLOSERS. IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 IN (76 MM) FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
- DOOR OPENING FORCE. THE MAXIMUM FORCE FOR PUSHING OR PULLING OPEN A DOOR SHALL BE AS FOLLOWS:
  - FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY.
  - INTERIOR HINGED DOORS: 5 LBF
  - SLIDING OR FOLDING DOORS: 5 LBF
 THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT MAY HOLD THE DOOR IN A CLOSED POSITION.

REVISIONS	DATE

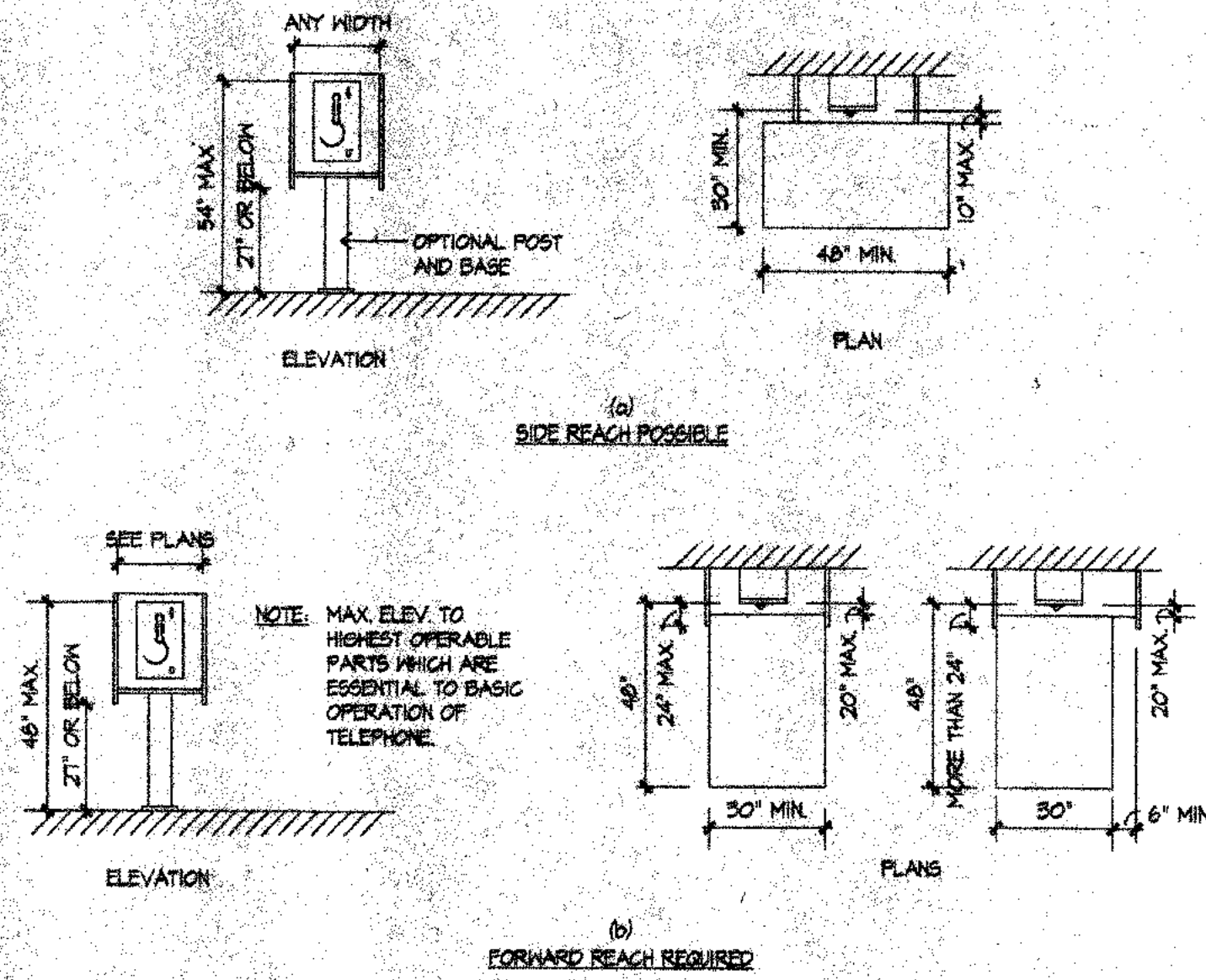


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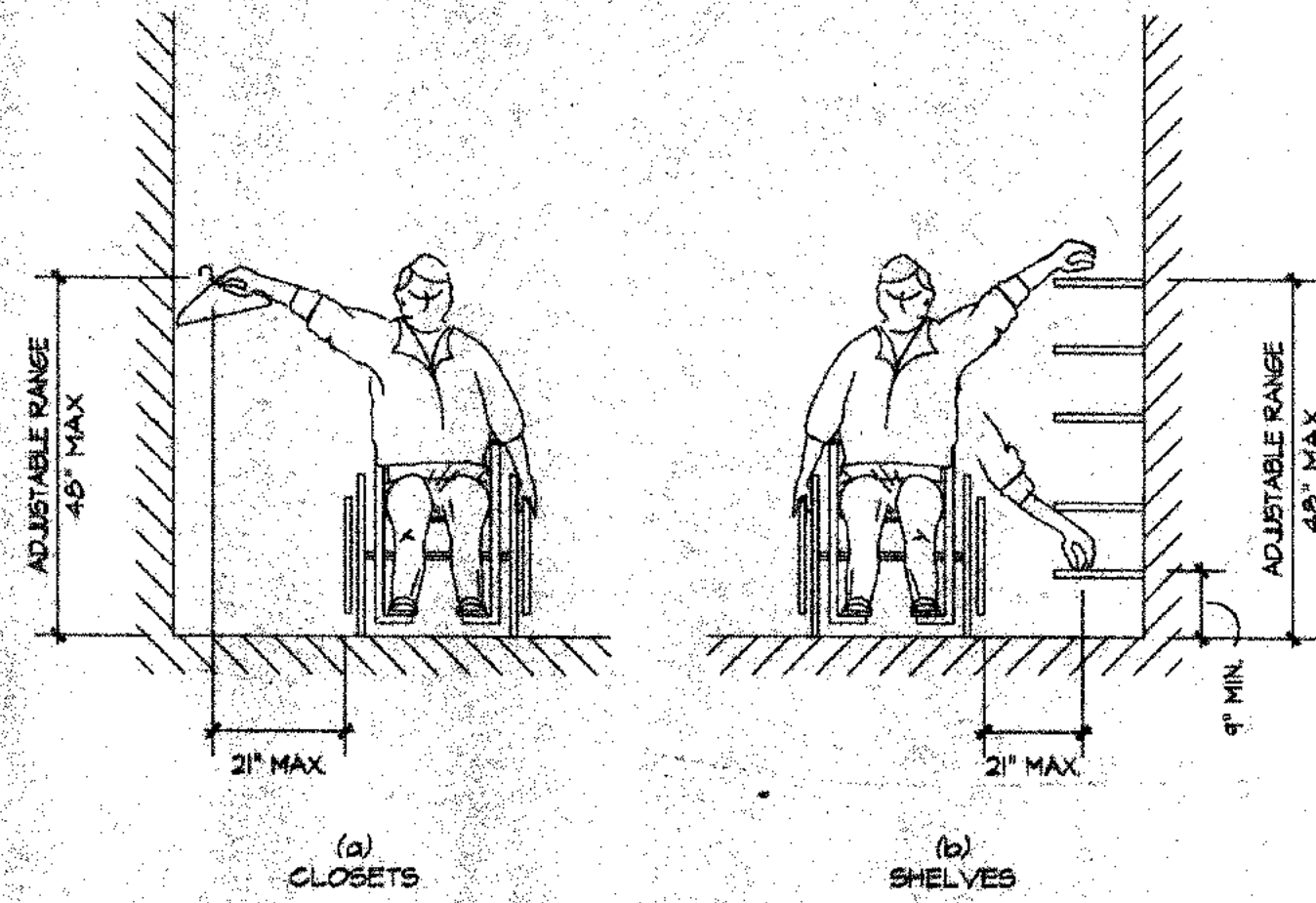
**DALTON FLATS**  
Dawville Road  
Dalton, Georgia

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DATE
SCALE
AS NOTED
JOB NUMBER

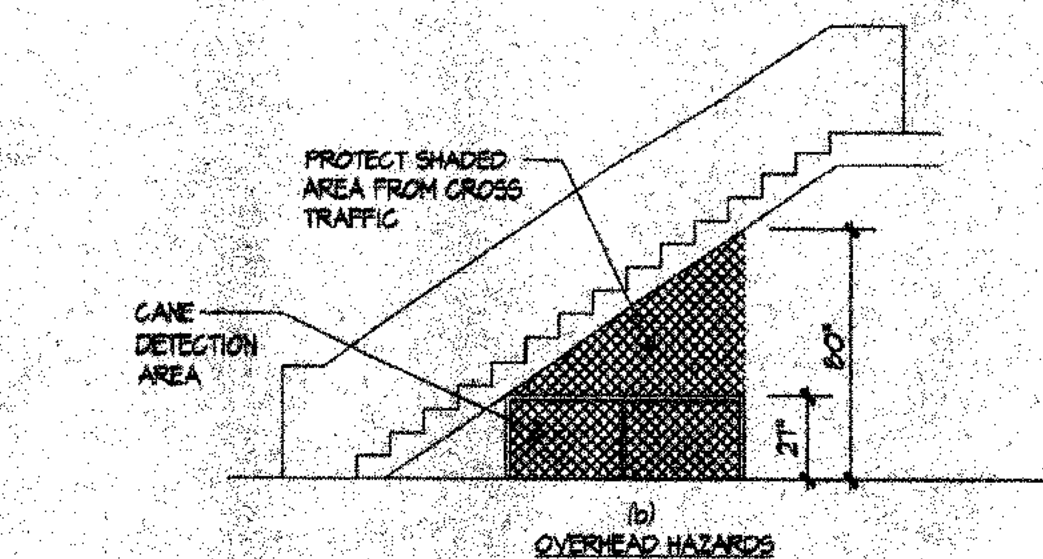
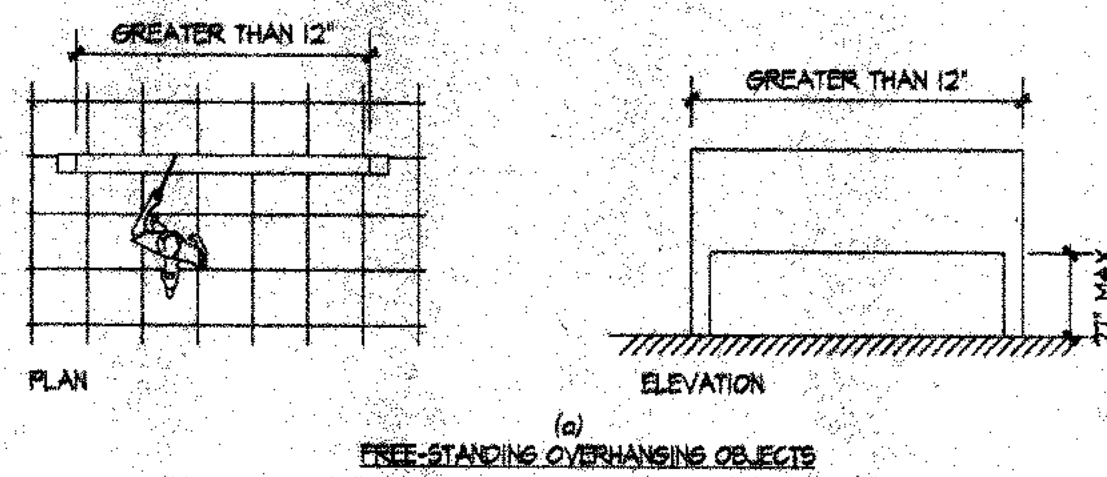
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**A-16**



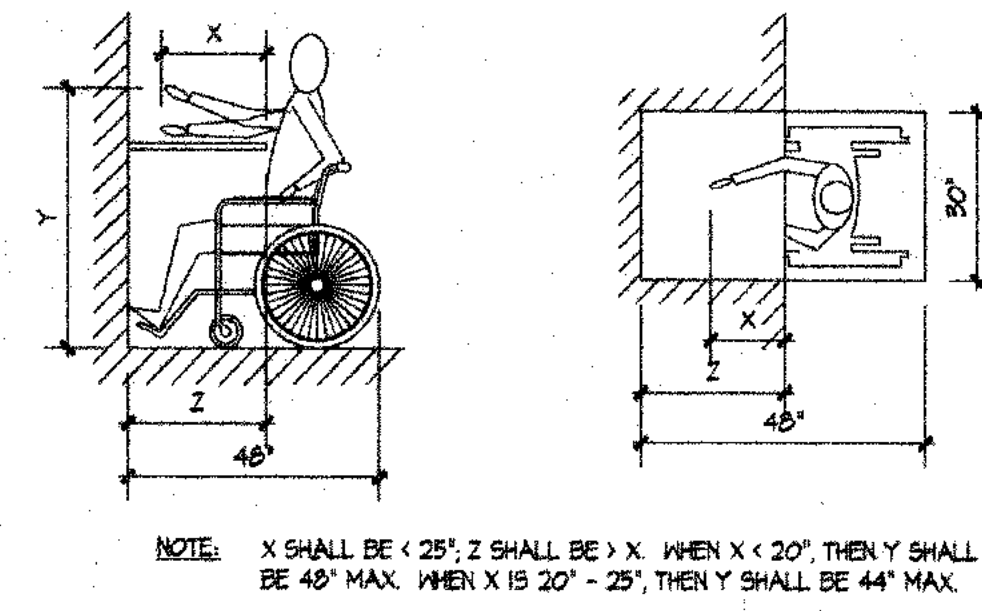
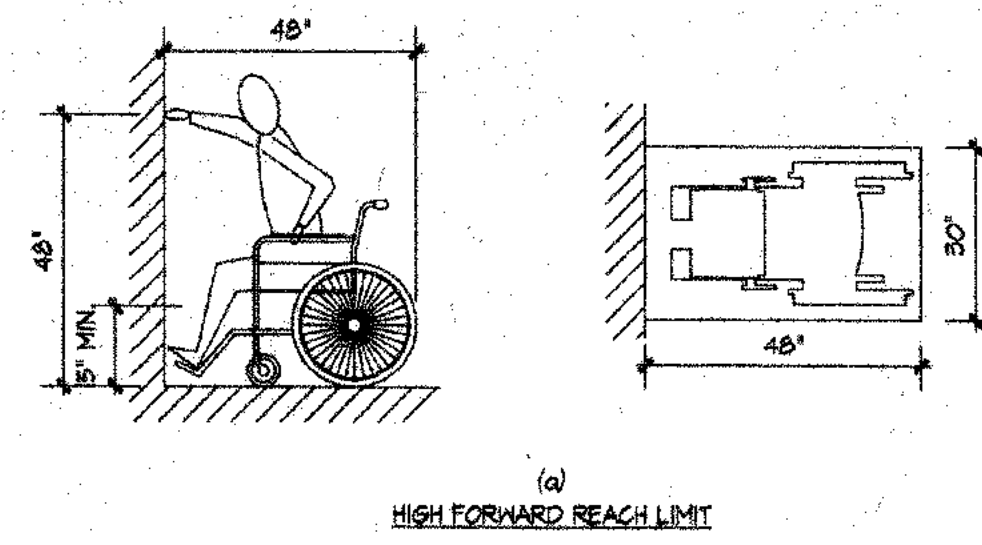
**1 MNTG. HEIGHTS & CLEARANCES FOR TELEPHONES**  
N.T.S.



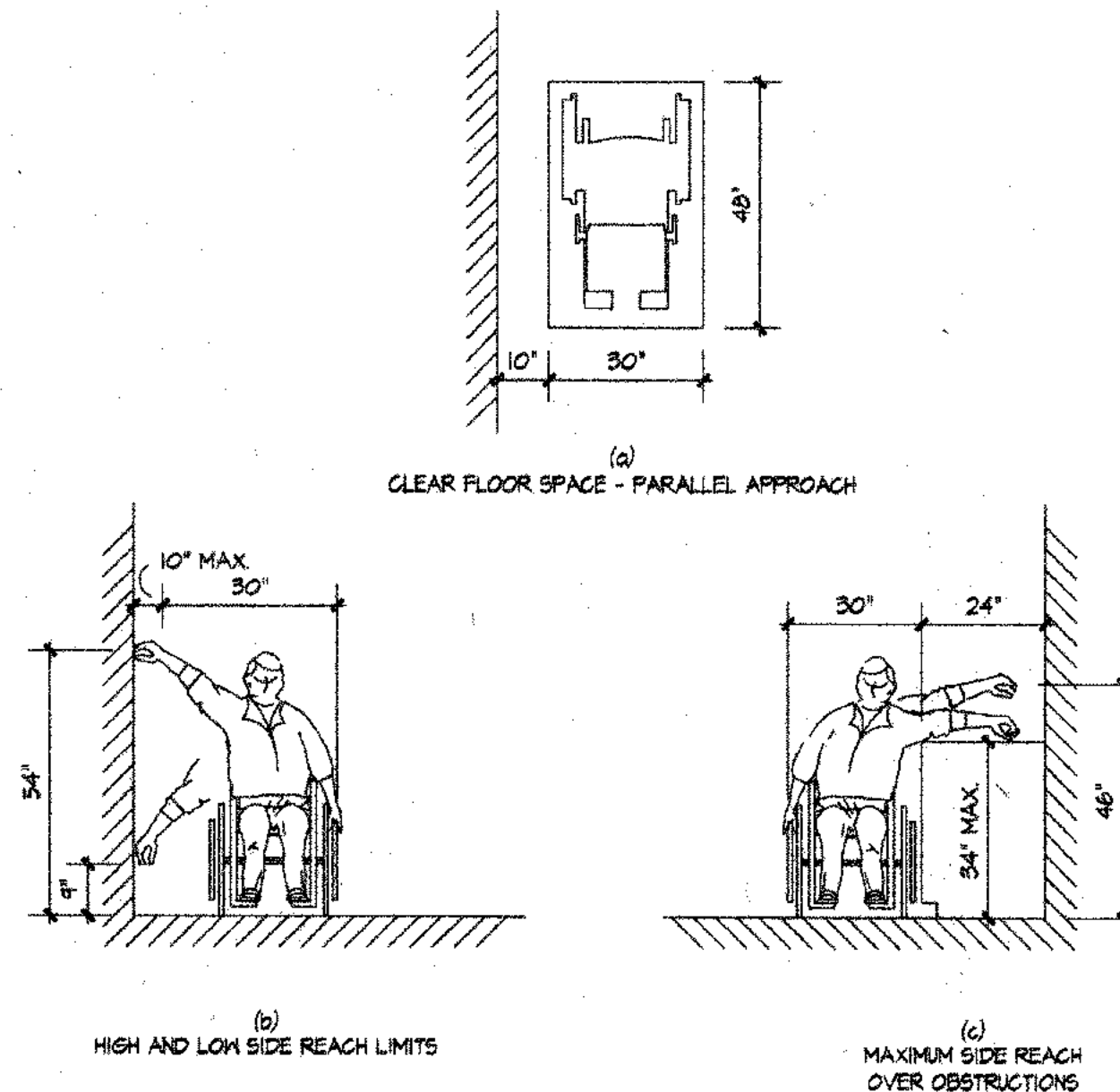
**2 CLOSETS AND STORAGE SHELVES**  
N.T.S.



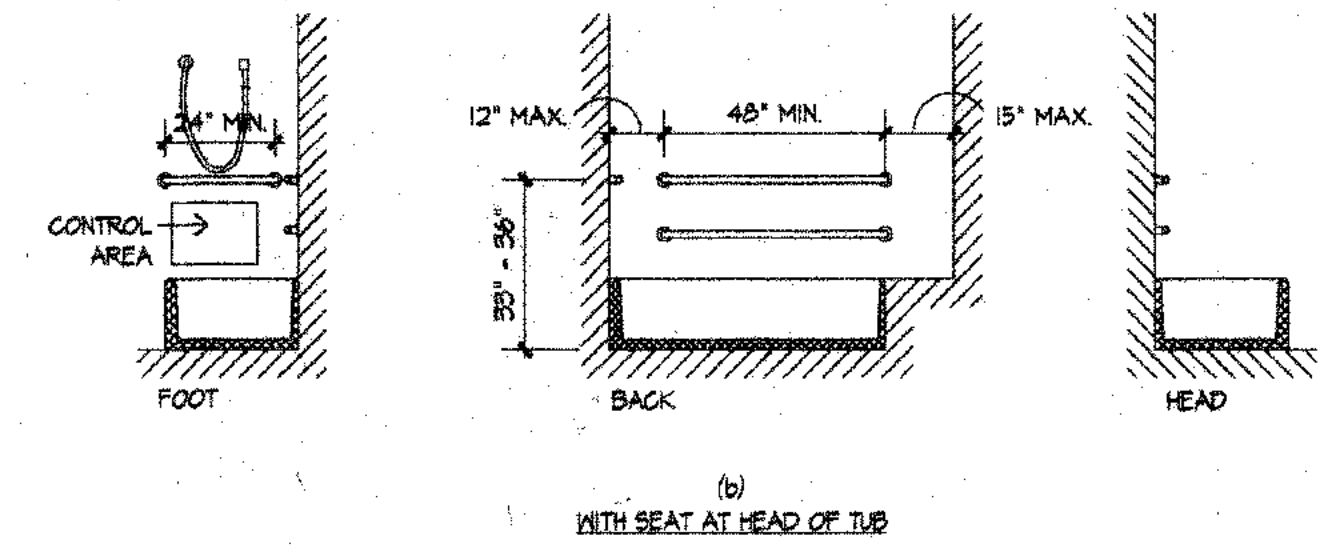
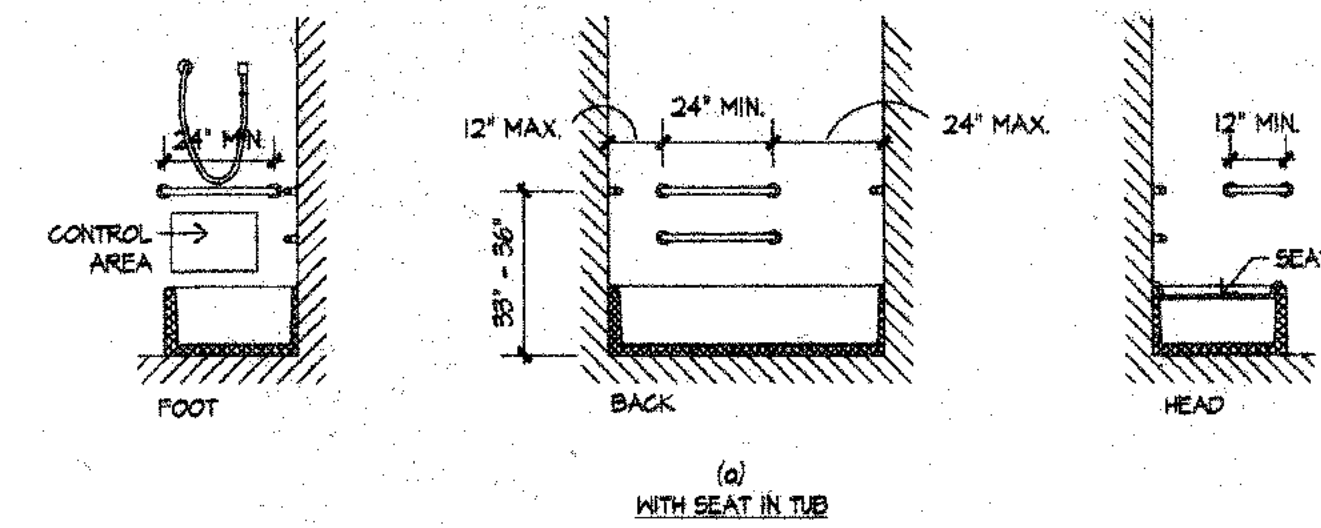
**3 OVERHEAD HAZARDS**  
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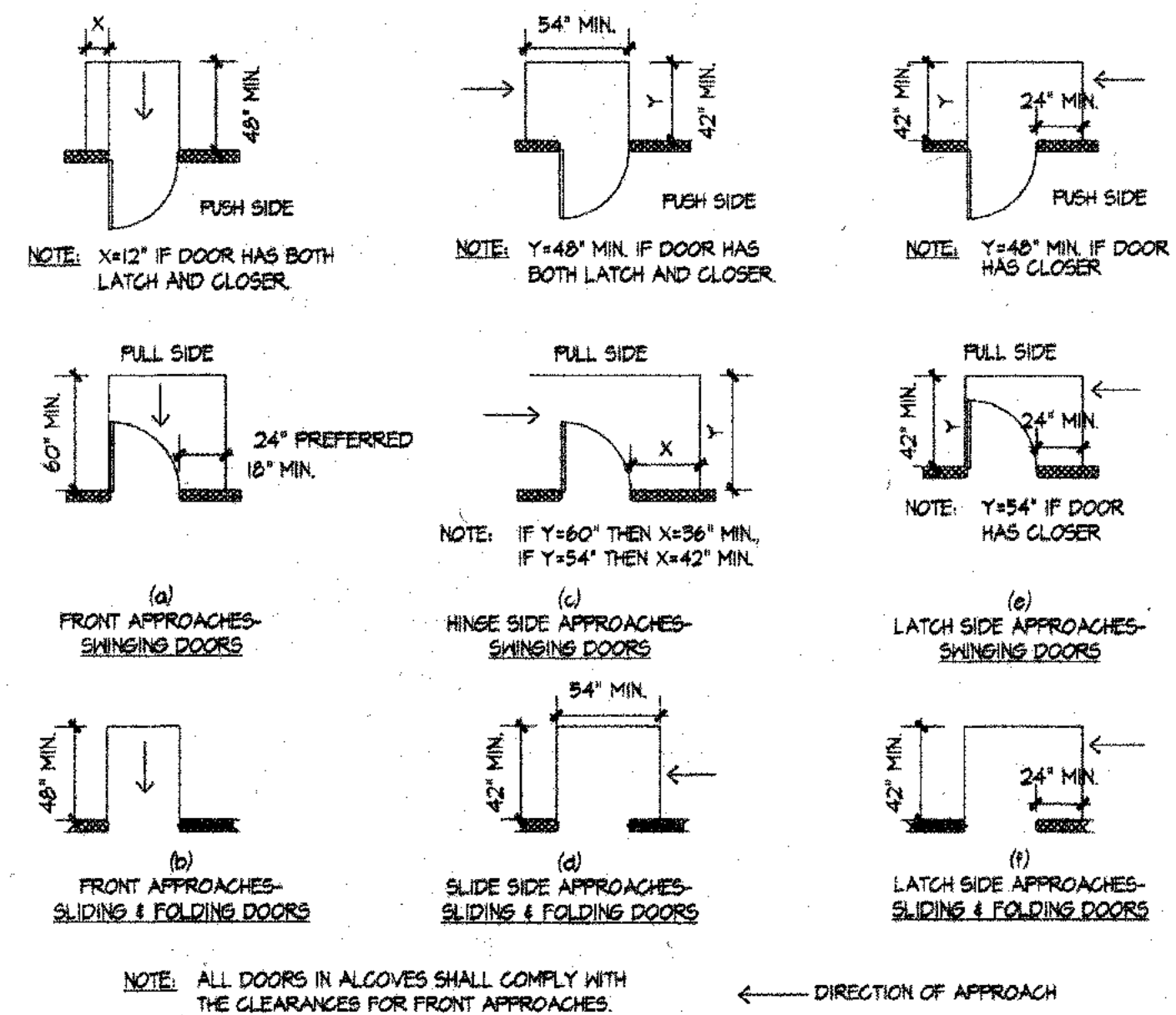
**4 FORWARD REACH**  
N.T.S.



**5 SIDE REACH**  
N.T.S.

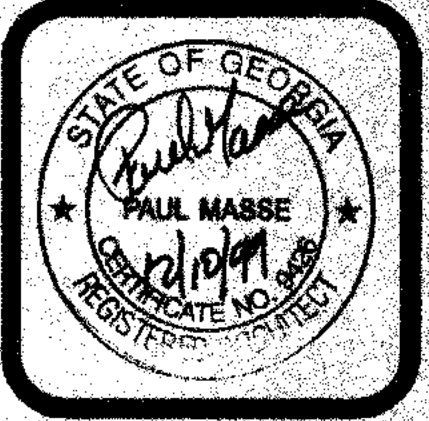


**6 GRAB BARS @ BATHTUBS**  
N.T.S.



**7 MANEUVERING CLEARANCES AT DOORS**  
N.T.S.

REVISIONS	DATE

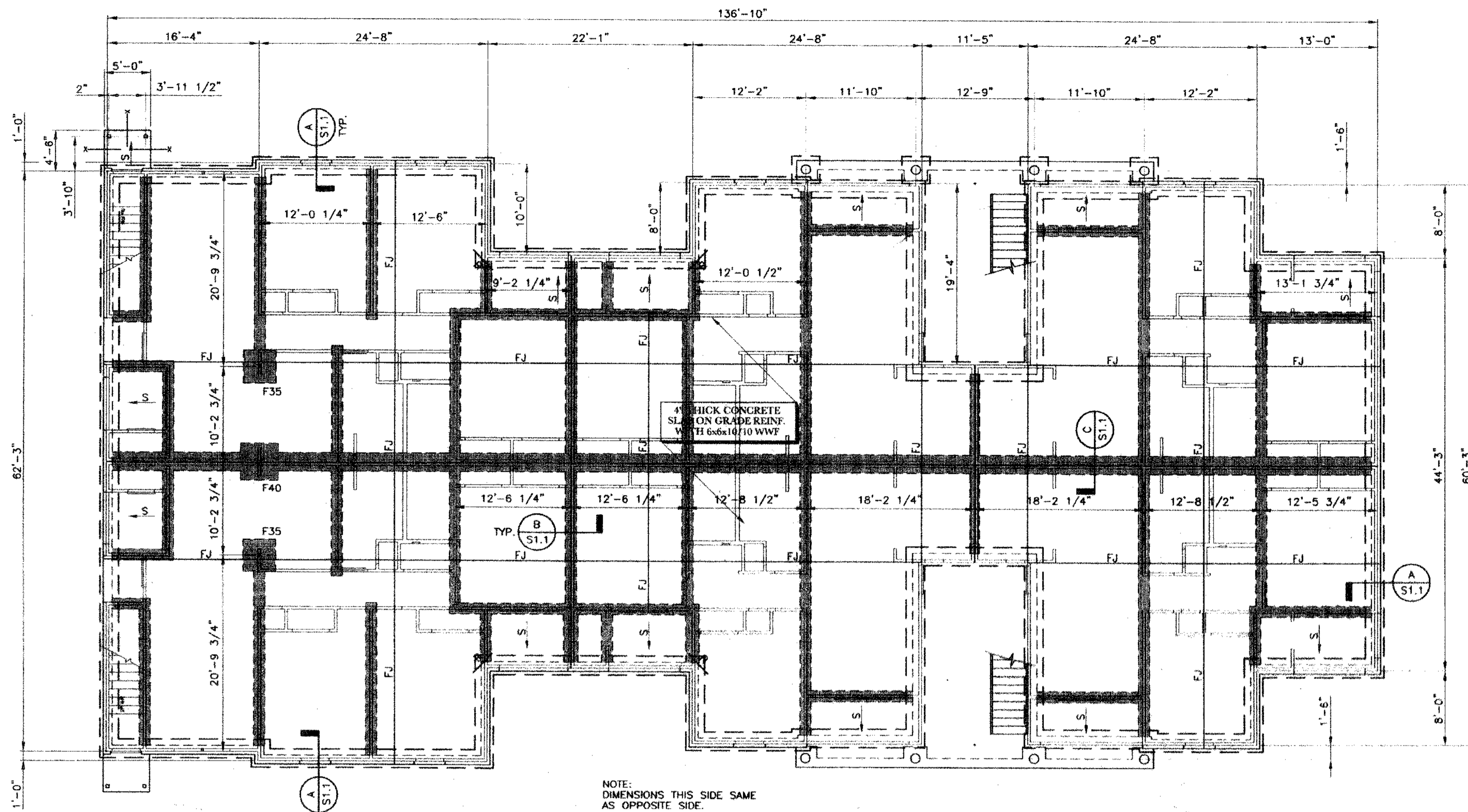


**PHM Ltd.**  
designers & architects  
504B City Bldg., Suite 309, Waycross, Georgia 31501

**DALTON FLATS**  
Dawnville Road  
Dalton, Georgia

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DATE
12/20/99
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JOB NUMBER

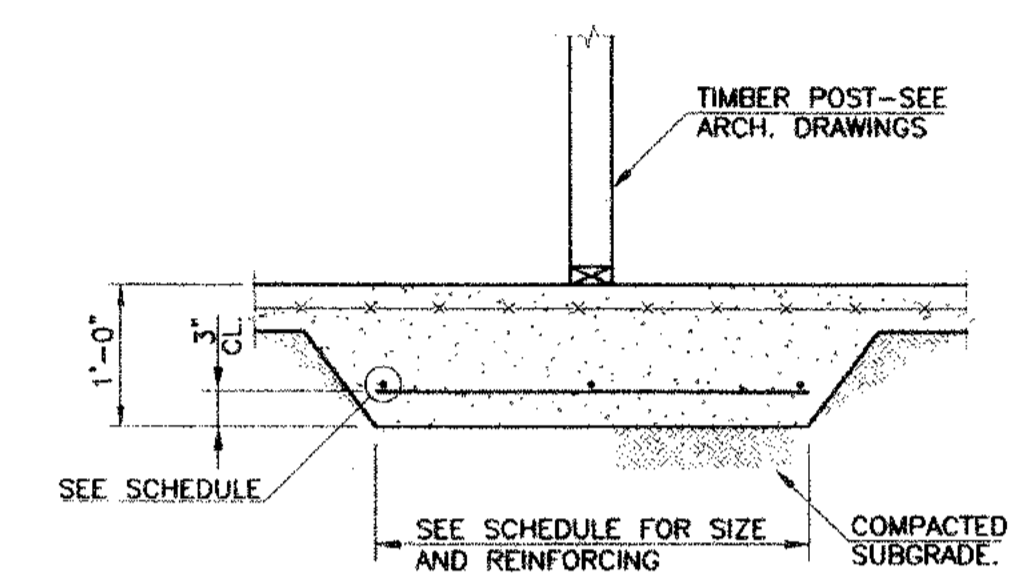
SHEET NO.  
**A-17**  
OF



NOTE: DIMENSIONS THIS SIDE SAME AS OPPOSITE SIDE.  
**FOUNDATION PLAN**  
 TYPICAL APARTMENT BLDGS  
 SCALE: 1/8"=1'-0"

**LEGEND**

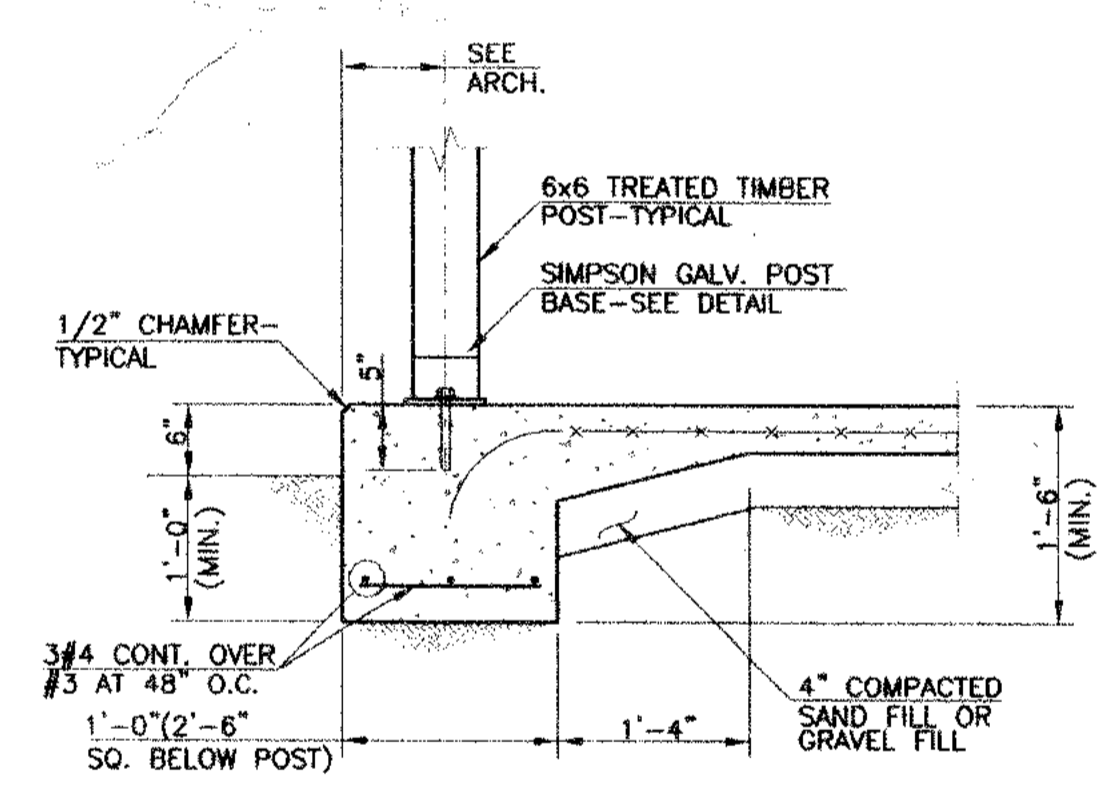
	FOOTING	U.N.	UNLESS NOTED
	BRICK	P.E.J.	PRE-MOLDED EXPANSION JOINT
	CONCRETE	E.W.	EACH WAY
	DROP SLAB TO RECEIVE FLOOR FINISH	O.C.	ON CENTER
	FLOOR JOINT	CL	CLEARANCE
	CONCRETE TURNDOWN	FD	FLOOR DRAIN
	SLOPE SLAB (DIRECTION AND DROP)		
	VERTICAL STEP IN WALL FOOTING		
	ADD 4x4' 0" IN CENTERLINE SLAB		
	SIMILAR		
	THROUGHOUT		



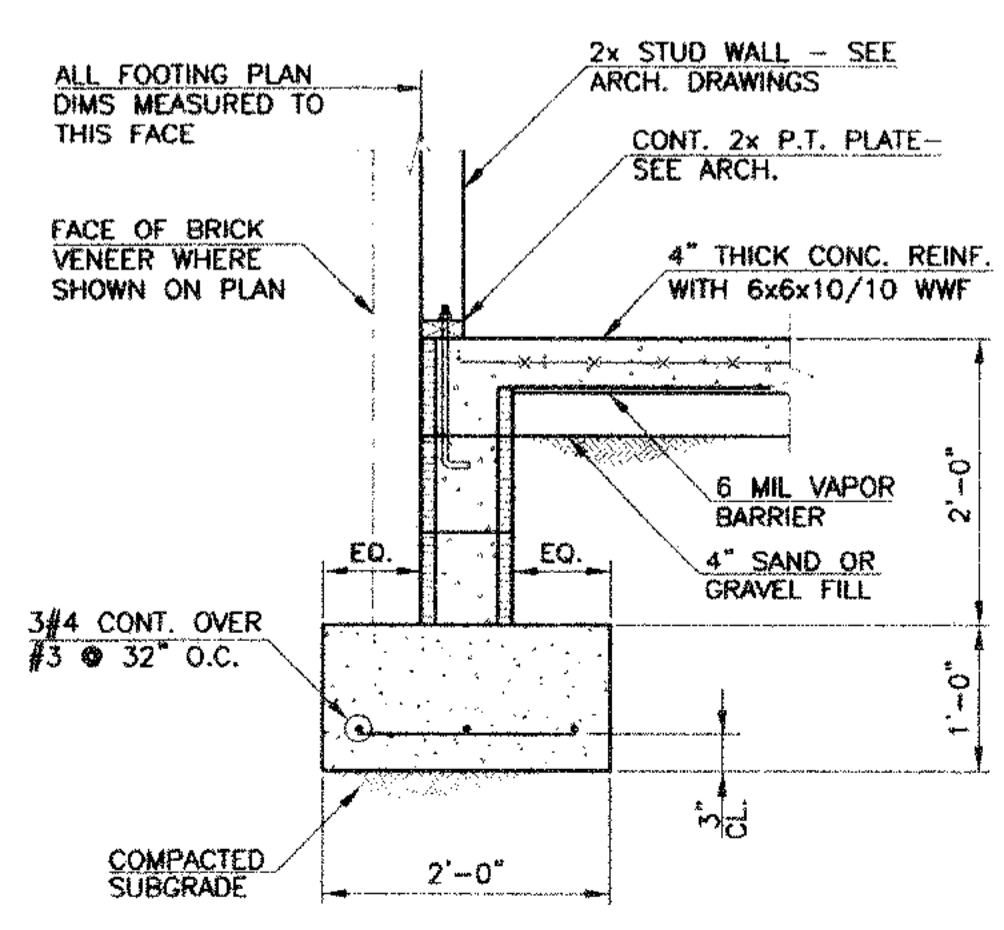
**SLAB FOOTING SCHEDULE**

MARK	SIZE	DEPTH	REINF. E.W.	NOTES
F30	3'-0" x 3'-0"	1'-0"	4#4	
F35	3'-6" x 3'-6"	1'-0"	4#5	
F40	4'-0" x 4'-0"	1'-0"	4#6	

**TYPICAL DETAIL AT SQUARE SLAB FOOTINGS**

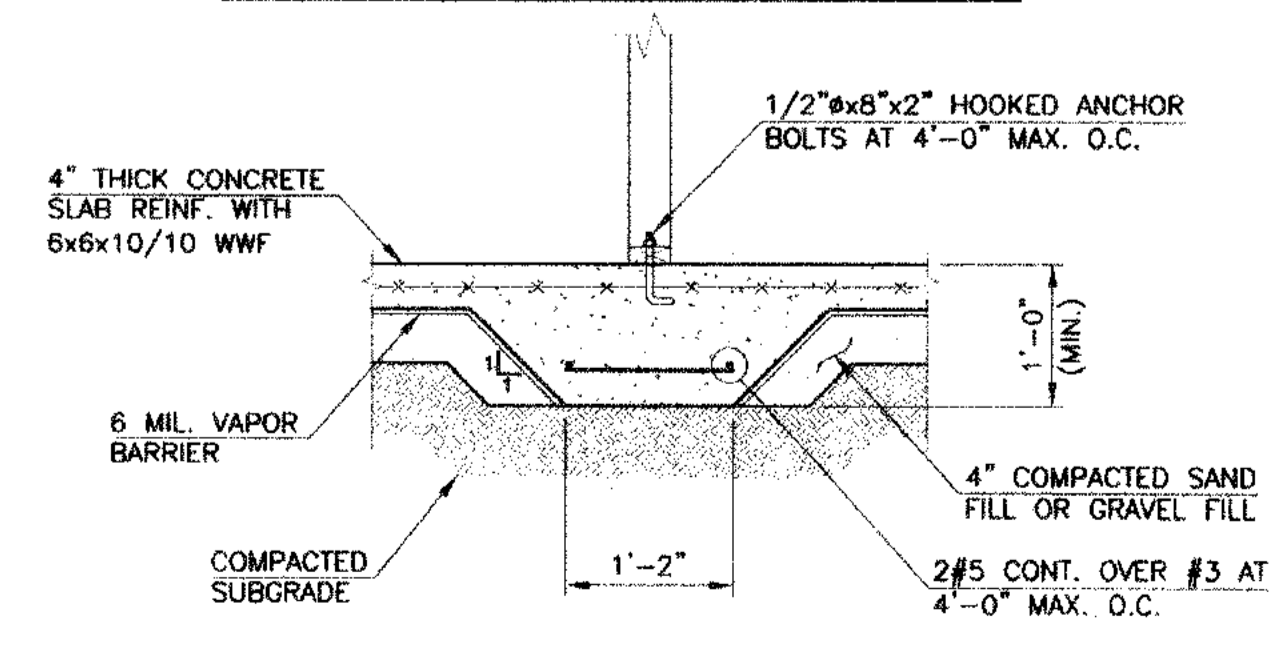


**TYPICAL DETAIL AT ENTRANCE COLUMN FOOTINGS**

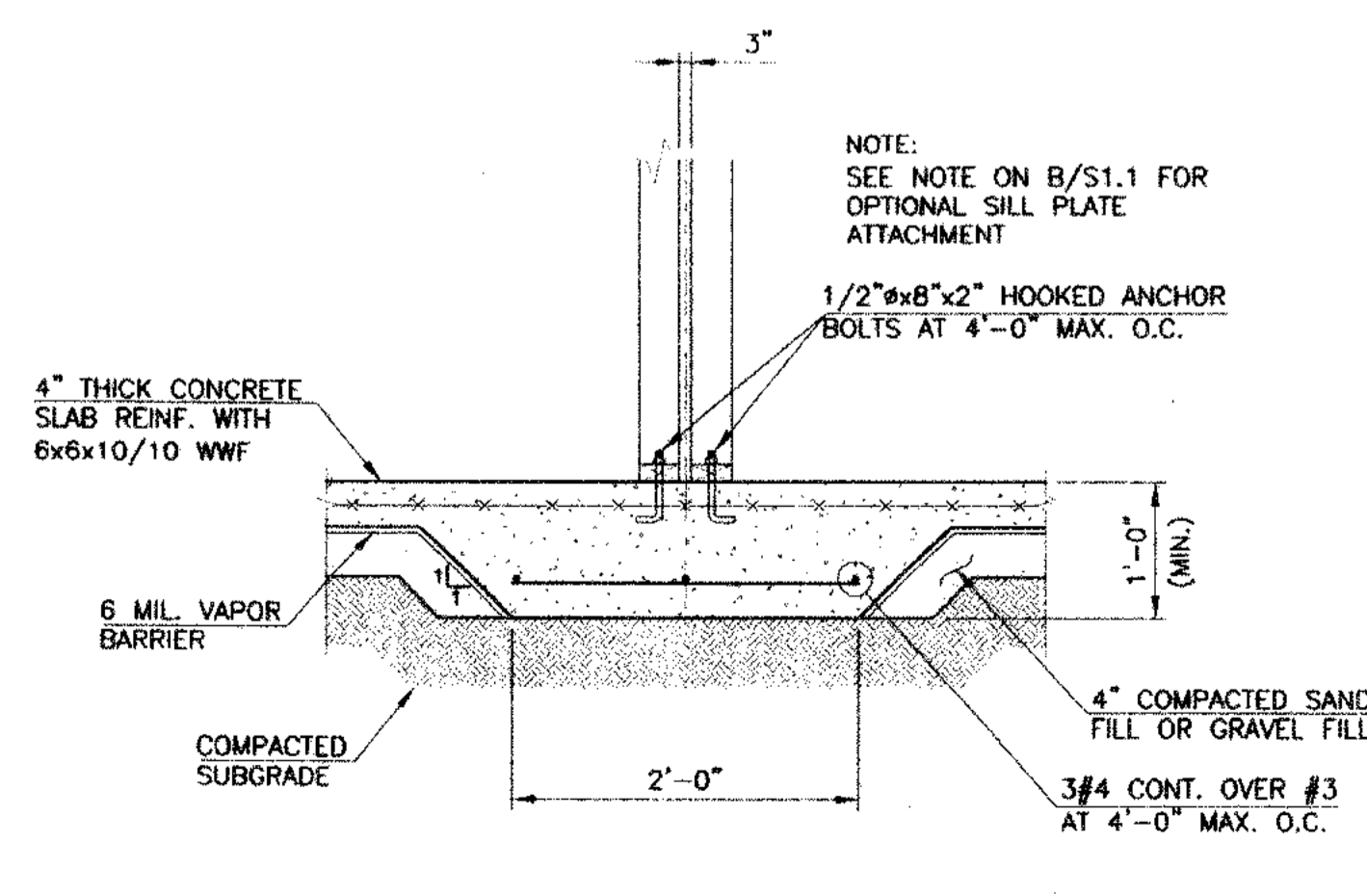


**SECTION A**  
S1.1

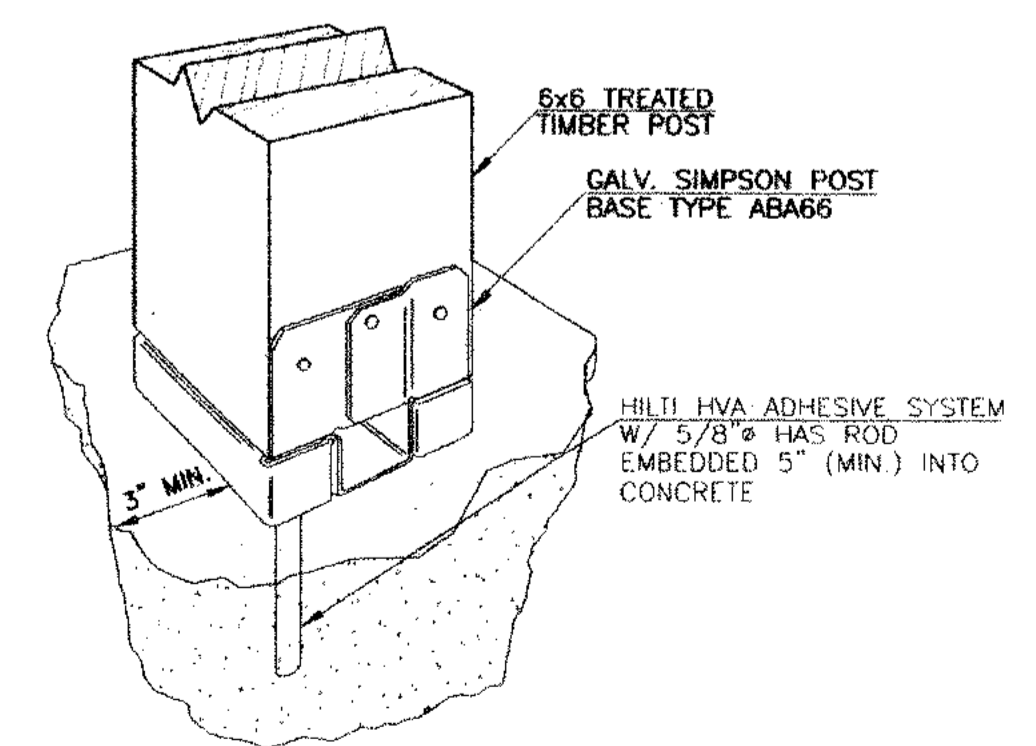
**OPTIONAL SILL PLATE ATTACHMENTS:**  
 WHERE POWER ACTUATED FASTENERS USED, THEY SHALL BE HILTI X-2F, 3" LONG WITH 3/4" MIN. EDGE DISTANCE. PLACE (2) PINS, 6" AND 10" RESPECTIVELY FROM EACH END OF SILL PLATE AND MAX. SPACING AS FOLLOWS:  
 INTERIOR WALLS: 3'-0" O.C.  
 EXTERIOR WALLS: 1'-6" O.C.  
 SHEARWALLS: 0'-8" O.C.



**SECTION B**  
S1.1



**SECTION C**  
S1.1



**TYPICAL DETAIL AT BASE OF ENTRANCE COLUMNS**

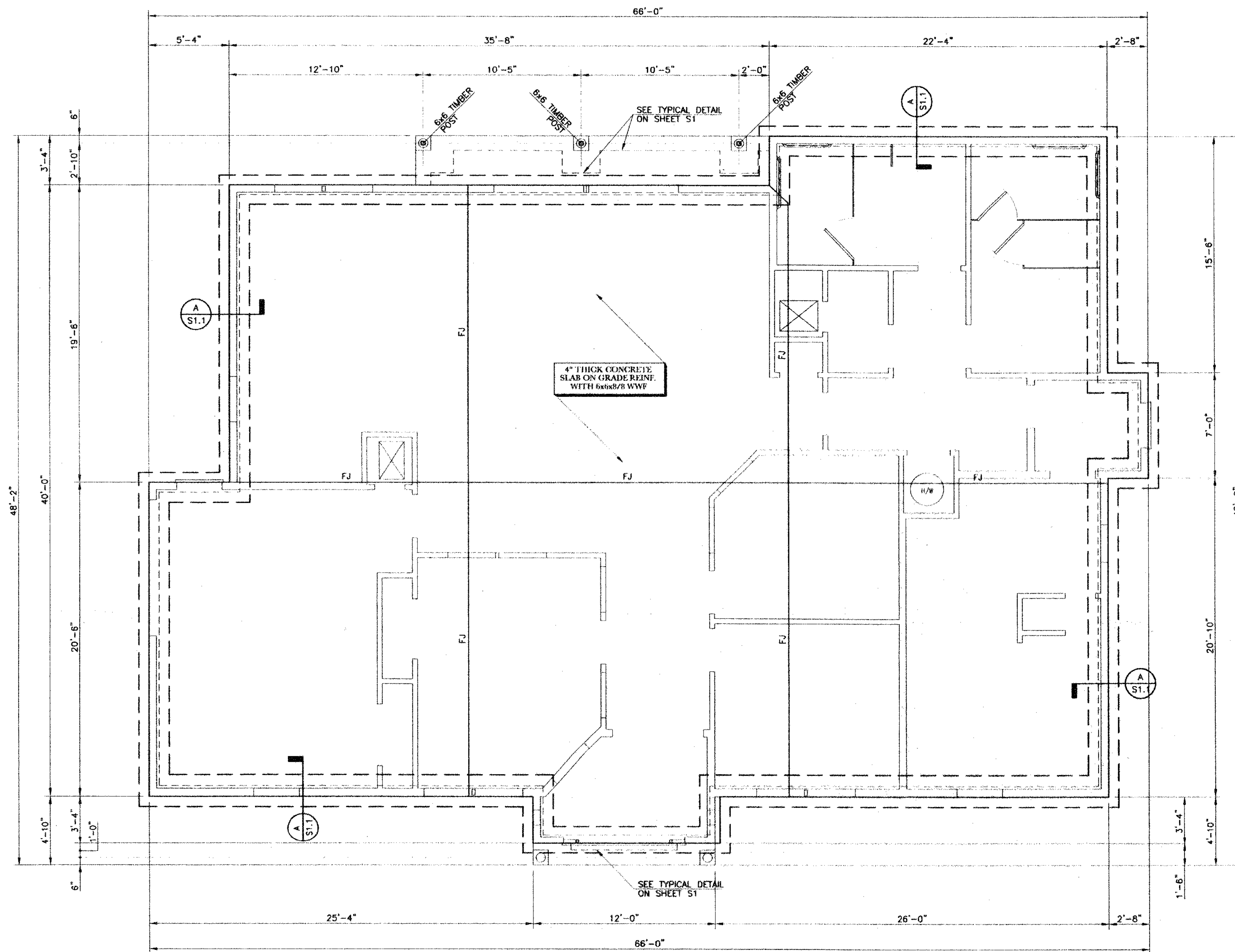
**PRELIMINARY**  
 NOT FOR CONSTRUCTION USE  
 DATE: 12/21/99  
 W. HUNTER SAUSSY III, PC  
 400 JOHNNY MERCER BLVD., SUITE A2  
 P.O. BOX 30597  
 SAVANNAH, GEORGIA 31410  
 PROJECT NO. 99119

REVISIONS: NO. DATE DESCRIPTION

PROJECT: DALTON COUNTY, GEORGIA  
 TITLE: FOUNDATION PLAN  
 PROJECT: DALTON FLAT APARTMENTS

W. HUNTER SAUSSY III, PC  
 400 JOHNNY MERCER BLVD., SUITE A2  
 P.O. BOX 30597  
 SAVANNAH, GEORGIA 31410  
 PHONE: (912) 898-8235  
 FAX: (912) 898-1883  
 EMAIL: WHS@HALL.COM

job no: 99119  
 scale: AS SHOWN  
 date: 12/21/99  
 designer: WHS III  
 checker: WHS III  
 sheet: 1 of 3



**FOUNDATION PLAN**  
OFFICE BLDG  
SCALE: 1/4"=1'-0"

**PRELIMINARY**  
NOT FOR CONSTRUCTION USE  
DATE: 12/21/99

W. HUNTER SAUSSY III, PC  
400 JOHNNY MERCER BLVD. SUITE A2  
P.O. BOX 30597  
SAVANNAH, GEORGIA 31410  
PROJECT NO. 99119

job no:	99119
scale:	AS SHOWN
date:	
designed:	WHS III
drawn:	CJH
checked:	WHS III

sheet  
**S2**  
1 of 3

NO.	DATE	DESCRIPTION

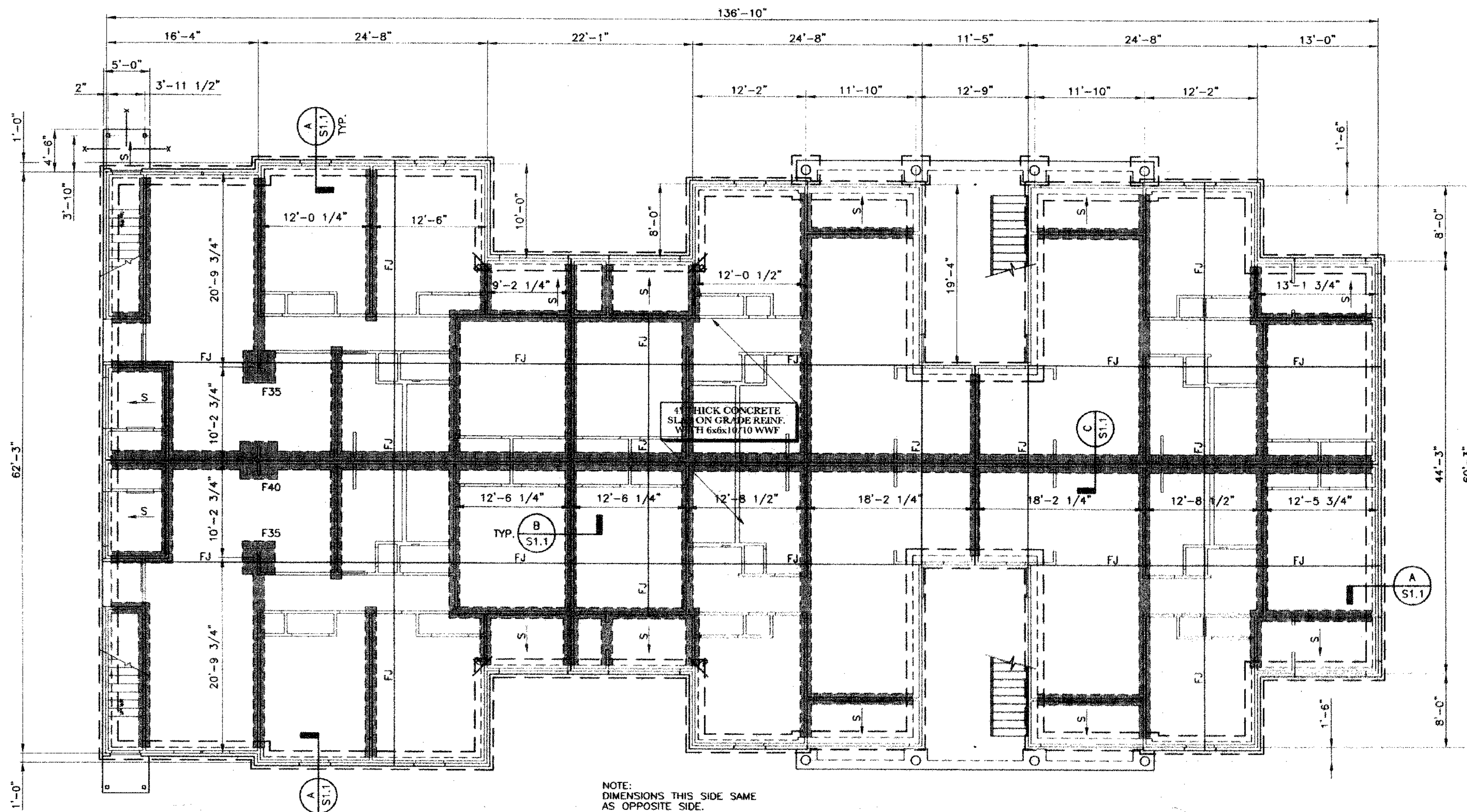
PROJECT: DALTON COUNTY, GEORGIA  
TITLE: DALTON FLAT APARTMENTS  
OFFICE BUILDING

PROJECT: W. HUNTER SAUSSY III, PC  
400 JOHNNY MERCER BLVD. SUITE A2  
P.O. BOX 30597  
SAVANNAH, GEORGIA 31410  
PHONE: (912) 898-8235  
FAX: (912) 898-1882  
EMAIL: WHSIII@AOL.COM

SEAL

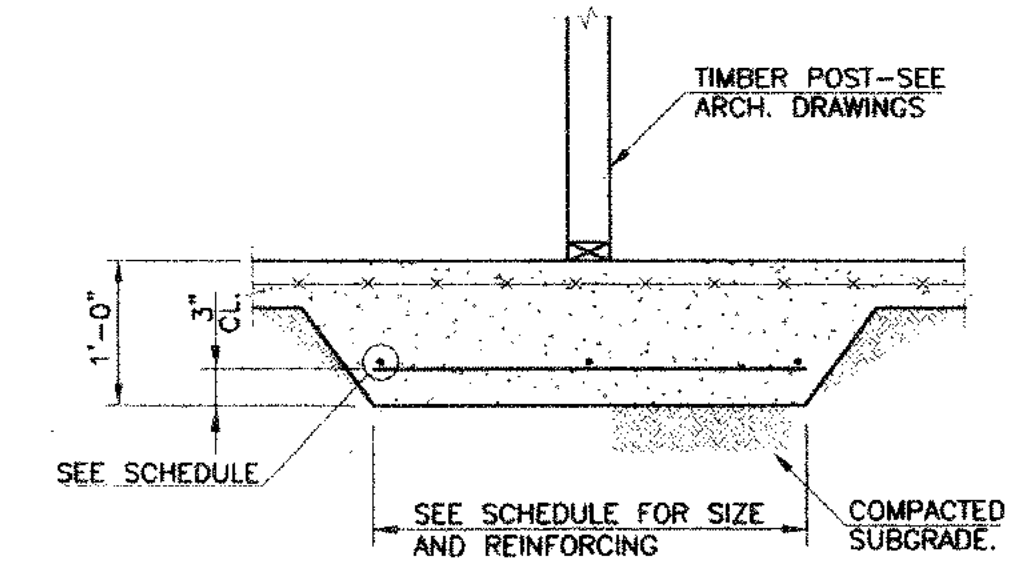






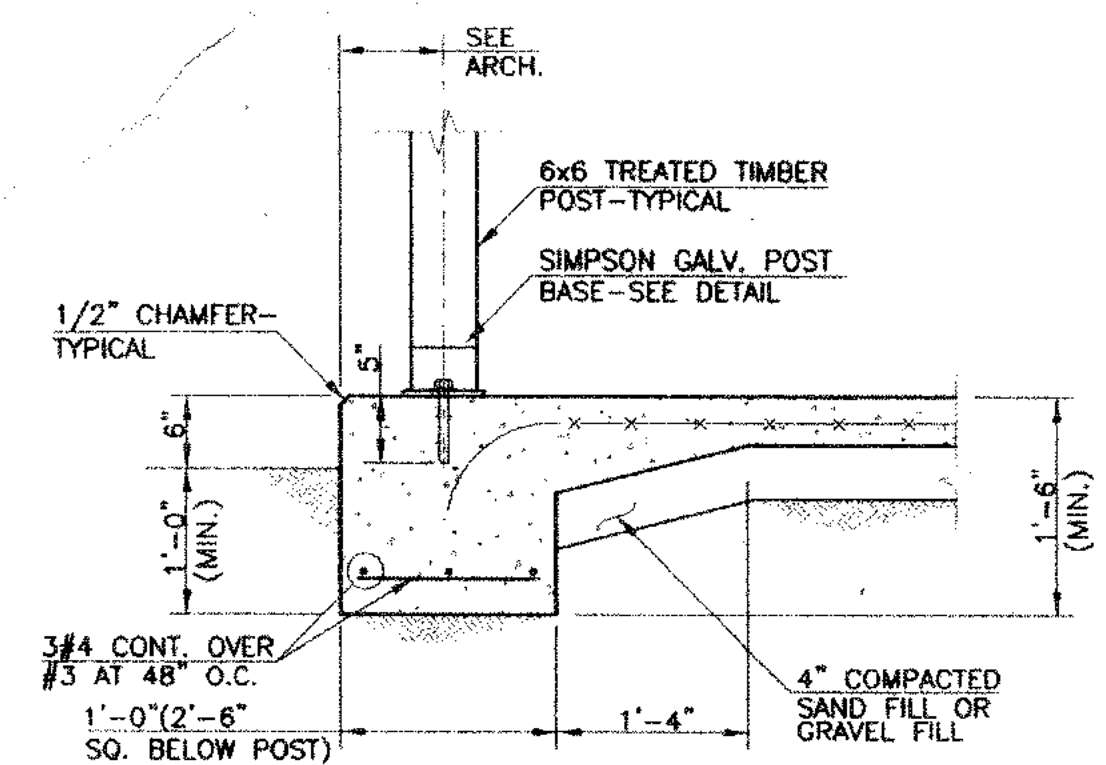
**FOUNDATION PLAN**  
TYPICAL APARTMENT BLDGS  
SCALE: 1/8"=1'-0"

LEGEND		U.N. UNLESS NOTED	
	FOOTING	P.E.J.	PRE MOLDED EXPANSION JOINT
	BRICK	E.W.	EACH WAY
	CONCRETE	O.C.	ON CENTER
	DROP SLAB TO RECEIVE FLOOR FINISH	CL	CLEARANCE
	FLOOR JOINT	FD	FLOOR DRAIN
	CONCRETE TURNDOWN		
	SLOPE SLAB DIRECTION AND DROP:		
	VERTICAL STEP IN WALL FOOTING		
	ADD 4" 4" IN CENTERLINE SLAB		
	SIMILAR		
	THROUGHOUT		

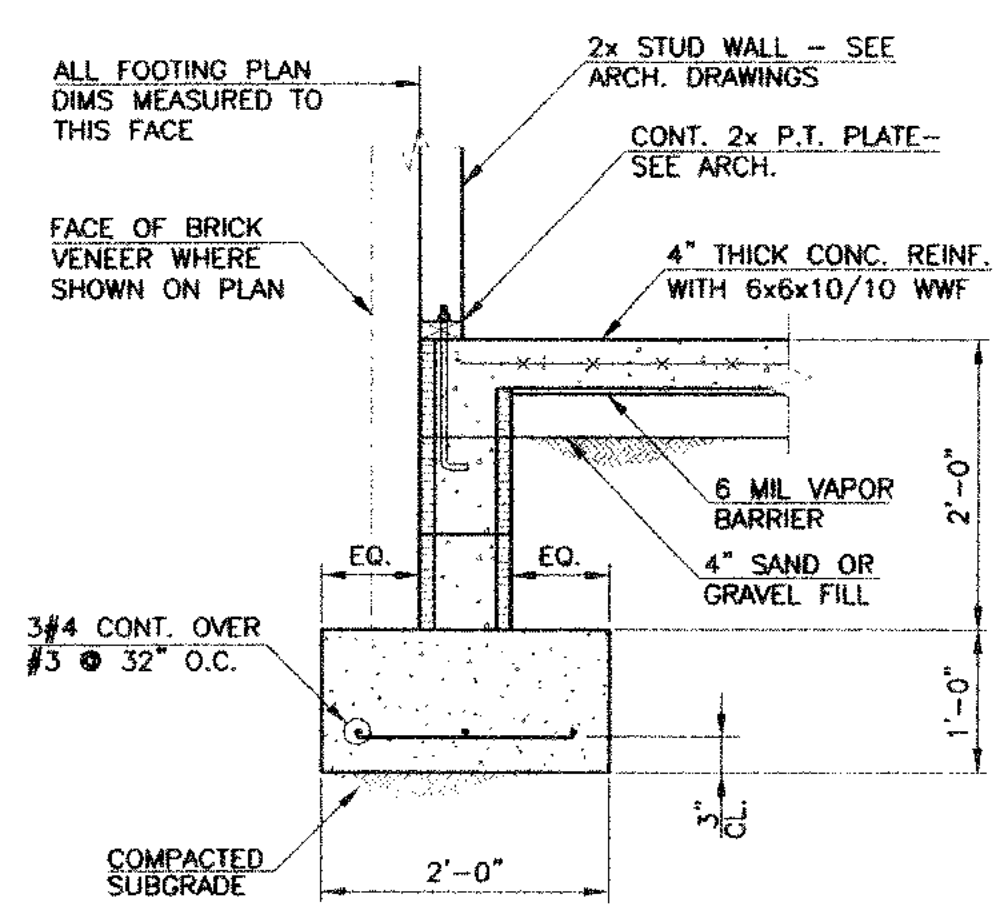


SLAB FOOTING SCHEDULE				
MARK	SIZE	DEPTH	REINF. E.W.	NOTES
F30	3'-0" x 3'-0"	1'-0"	4#4	
F35	3'-6" x 3'-6"	1'-0"	4#5	
F40	4'-0" x 4'-0"	1'-0"	4#6	

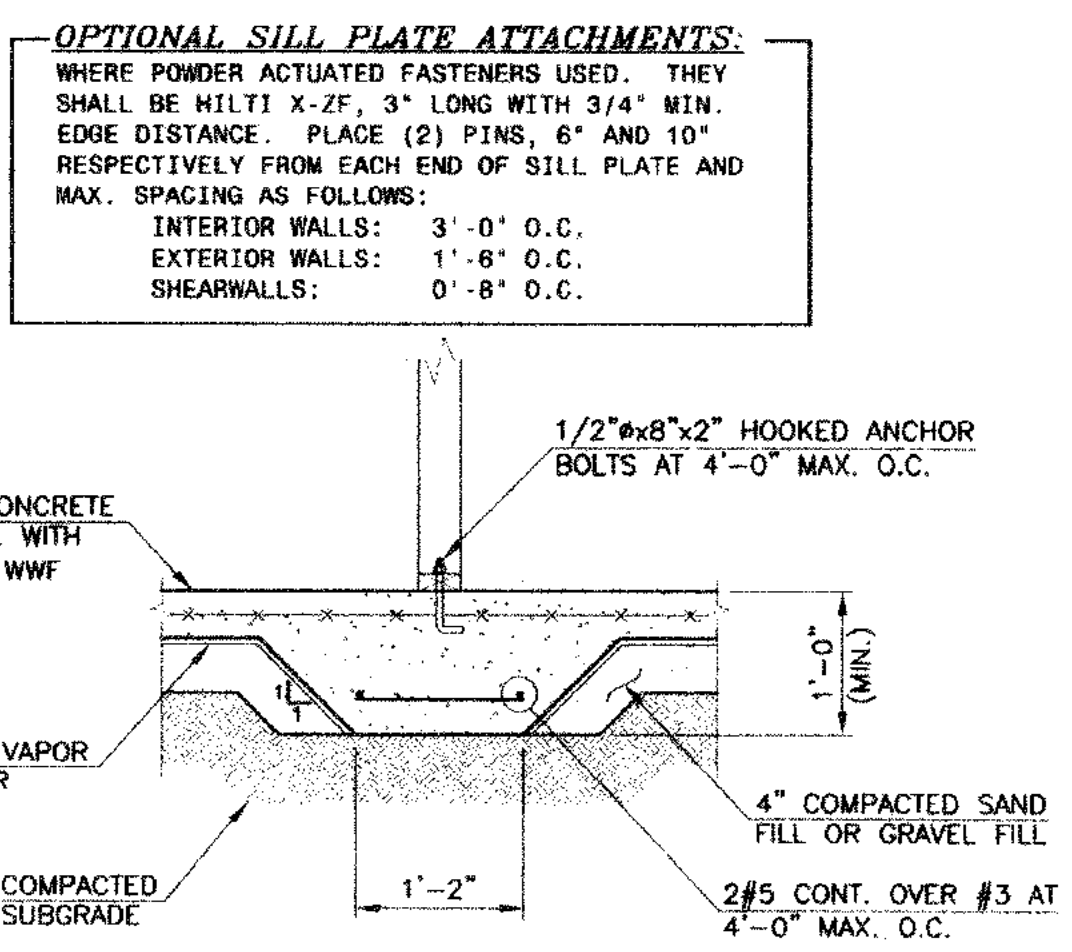
**TYPICAL DETAIL AT SQUARE SLAB FOOTINGS**



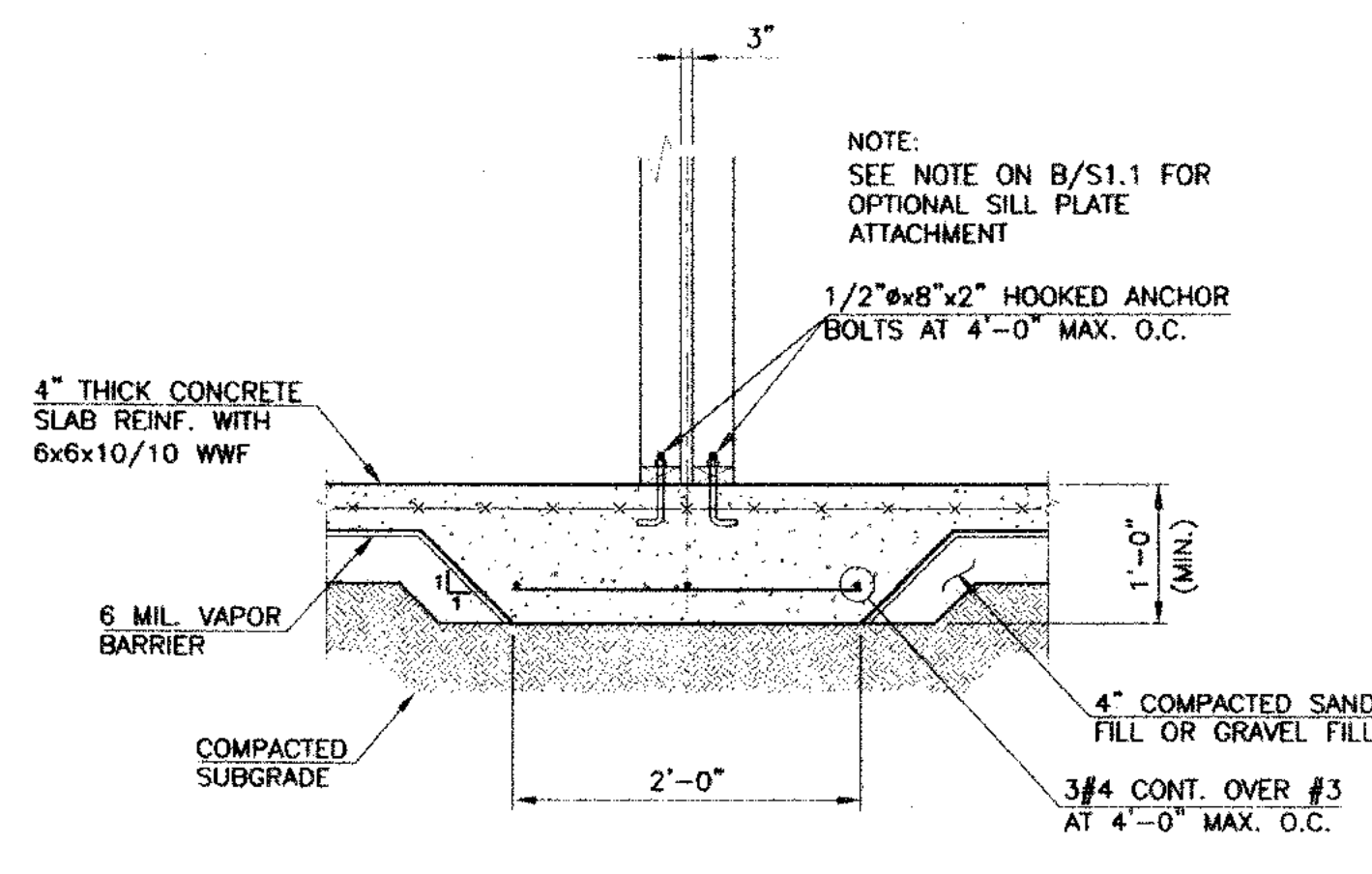
**TYPICAL DETAIL AT ENTRANCE COLUMN FOOTINGS**



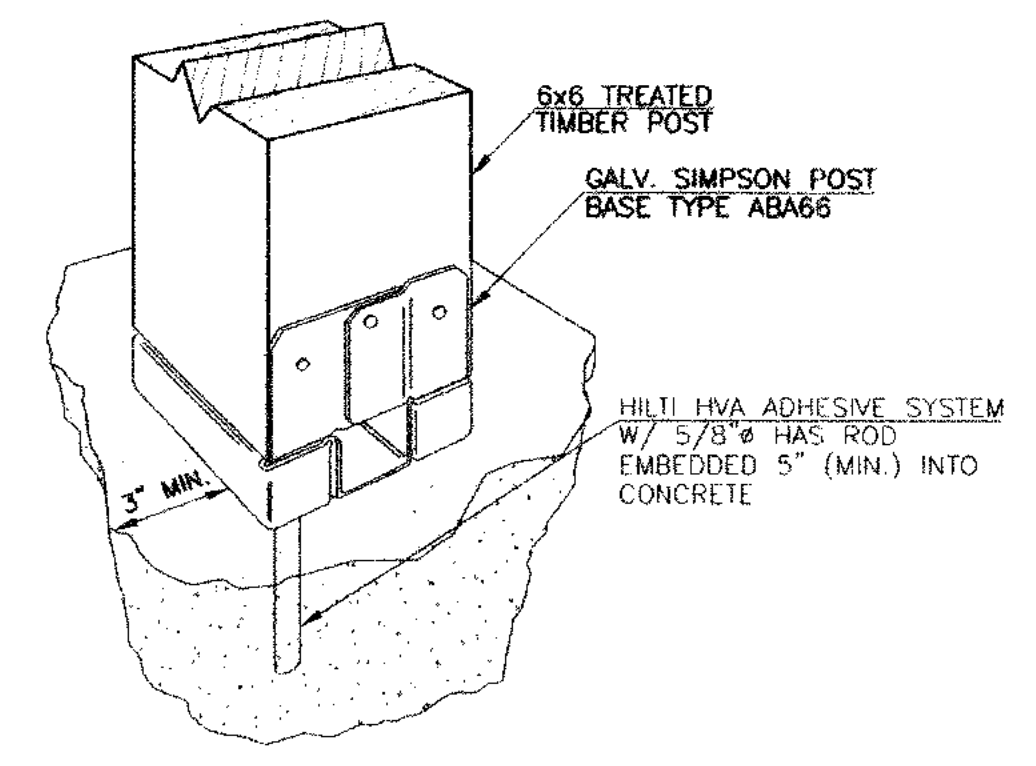
**SECTION A**  
S1.1



**SECTION B**  
S1.1



**SECTION C**  
S1.1



**TYPICAL DETAIL AT BASE OF ENTRANCE COLUMNS**

**OPTIONAL SILL PLATE ATTACHMENTS:**  
WHERE POWDER ACTUATED FASTENERS USED, THEY SHALL BE MILTI X-ZF, 3" LONG WITH 3/4" MIN. EDGE DISTANCE. PLACE (2) PINS, 6" AND 10" RESPECTIVELY FROM EACH END OF SILL PLATE AND MAX. SPACING AS FOLLOWS:  
INTERIOR WALLS: 3'-0" O.C.  
EXTERIOR WALLS: 1'-6" O.C.  
SHEARWALLS: 0'-8" O.C.

NOTE: SEE NOTE ON B/S1.1 FOR OPTIONAL SILL PLATE ATTACHMENT

**PRELIMINARY**  
NOT FOR CONSTRUCTION USE  
DATE: 12/21/99

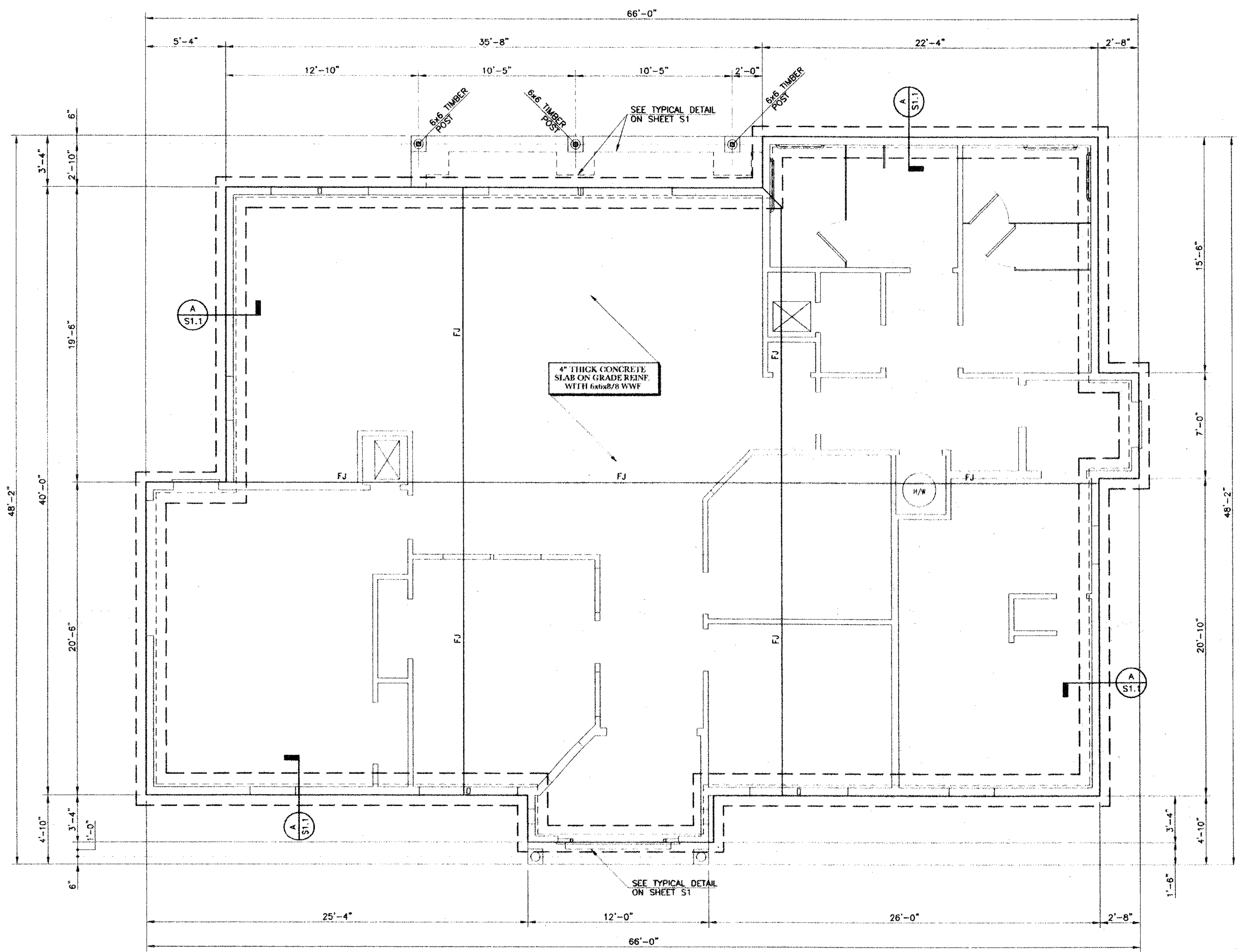
W. HUNTER SAUSSY III, PC  
400 JOHNNY MERCER BLVD. SUITE A2  
P.O. BOX 30597  
SAVANNAH, GEORGIA 31410  
PROJECT NO. 99119

PROJECT: DALTON FLAT APARTMENTS  
TITLE: FOUNDATION PLAN  
PROJECT LOCATION: DALTON COUNTY, GEORGIA

W. HUNTER SAUSSY III, PC  
400 JOHNNY MERCER BLVD. SUITE A2  
P.O. BOX 30597  
SAVANNAH, GEORGIA 31410  
PHONE: (912) 898-8255  
FAX: (912) 898-1882  
EMAIL: WHS@AOL.COM

job no: 99119  
scale: AS SHOWN  
date: 12/21/99  
designed: WHS III  
drawn: GJH  
checked: WHS III

1 of 3



**FOUNDATION PLAN**  
**OFFICE BLDG**  
 SCALE: 1/4"=1'-0"

**PRELIMINARY**  
 NOT FOR CONSTRUCTION USE  
 DATE: 12/21/99

W. HUNTER SAUSSY III, PC  
 400 JOHNNY MERCER BLVD. SUITE A2  
 P.O. BOX 30597  
 SAVANNAH, GEORGIA 31410  
 PHONE: (912) 898-8255  
 FAX: (912) 898-1882  
 EMAIL: WHS@HSAOL.COM

job no:	99119
scale:	AS SHOWN
date:	
designed:	WHS III
drawn:	GAH
checked:	WHS III

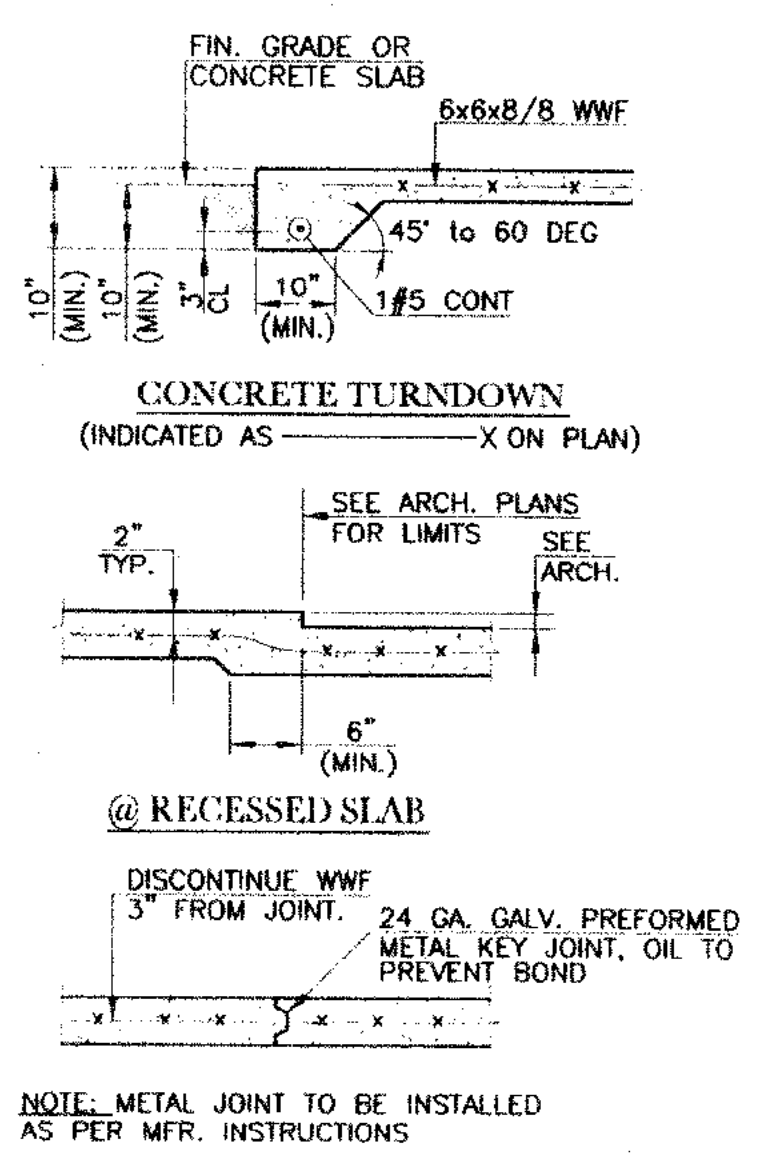
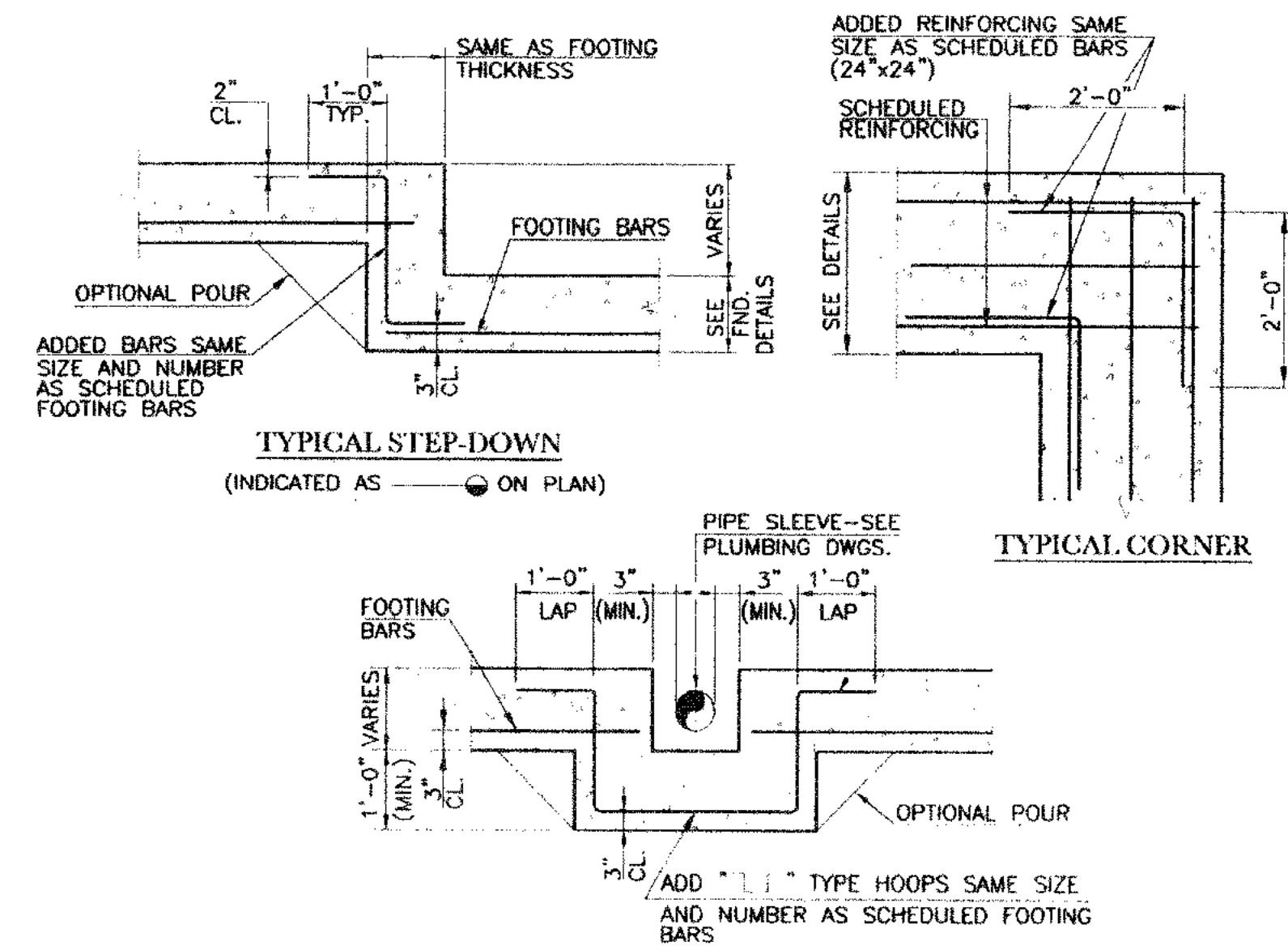
sheet  
**S2**  
 1 of 3

REVISIONS:	no.	date	description

SEAL

PROJECT  
 DALTON FLAT APARTMENTS  
 DALTON COUNTY  
 GEORGIA  
 TITLE  
 FOUNDATION PLAN  
 OFFICE BUILDING

PROJECT  
 W. HUNTER SAUSSY III, PC  
 400 JOHNNY MERCER BLVD. SUITE A2  
 P.O. BOX 30597  
 SAVANNAH, GEORGIA 31410  
 PHONE: (912) 898-8255  
 FAX: (912) 898-1882  
 EMAIL: WHS@HSAOL.COM

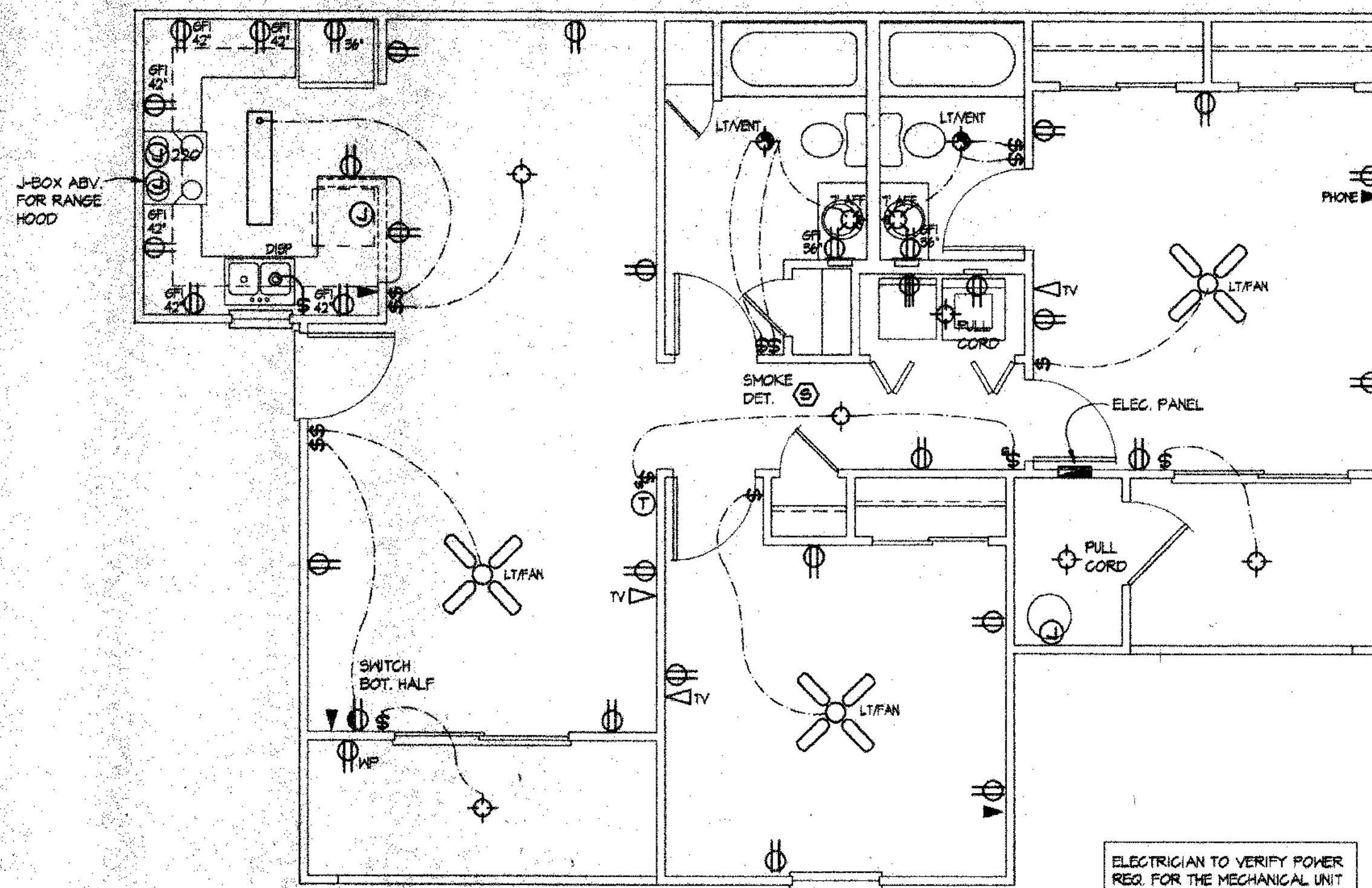


**GENERAL NOTES:**

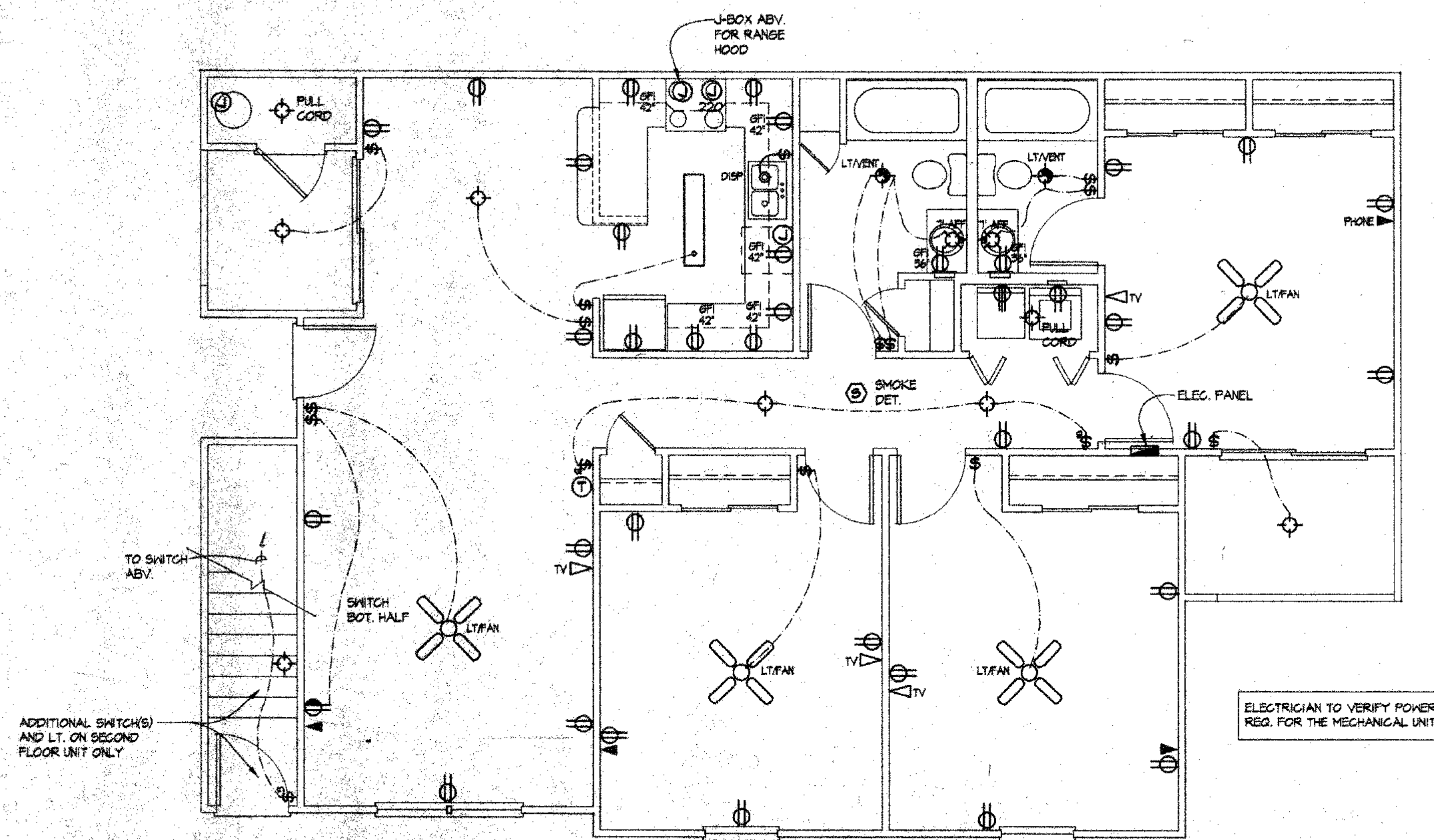
**A. FOUNDATION:**

1. FOUNDATIONS ARE DESIGNED FOR A MAXIMUM ALLOWABLE SOIL BEARING PRESSURE OF 3000 PSF.
2. FOOTINGS AND SLABS SHALL BEAR ON SUBGRADE COMPACTED TO MINIMUM 95% ASTM D698.
3. ALL WATER SOFTENED SOILS SHALL BE REMOVED FROM FOOTING EXCAVATIONS PRIOR TO POURING CONCRETE. REMAINING VOIDS SHALL BE FILLED WITH CONCRETE OR COMPACTED FILL.
4. BOTTOM REINFORCING IN FOUNDATIONS SHALL BE SUPPORTED USING WHOLE CONCRETE BRICKS AT MAXIMUM 48" O.C.
5. FOOTING, PIER AND OTHER FOUNDATION REINFORCING SHALL BE TIED IN PLACE PRIOR TO POURING CONCRETE.
6. WHERE FINISHED GRADES DIFFER ON OPPOSITE SIDES OF FOUNDATION WALLS, PROVIDE TEMPORARY BRACING TO PREVENT LATERAL MOVEMENT UNTIL ALL ADJACENT FILLING, COMPACTION, FLOOR SLABS, WALLS AND FRAMING AT NEXT LEVEL IS COMPLETED.
7. VERTICAL STEPS IN WALL FOOTINGS SHALL BE MAXIMUM 2'-0" HIGH SPACED NO LESS THAN 4'-0" O.C. AS REQUIRED TO MAINTAIN A MINIMUM 12" EARTH COVER.
8. CONSTRUCTION JOINTS IN WALL FOOTINGS TO BE FORMED VERTICALLY WITH MINIMUM 1'-6" LAP IN HORIZONTAL REINFORCING.
9. PROVIDE 1/4" FILLER AROUND PERIMETER OF SLABS WHERE THEY ABUT VERTICAL SURFACES AND AT COLUMN ISOLATION JOINTS AS DETAILED.

DALTON COUNTY	DALTON COUNTY	DALTON COUNTY	DALTON COUNTY	DALTON COUNTY	DALTON COUNTY
DALTON FLAT APARTMENTS	DALTON FLAT APARTMENTS	DALTON FLAT APARTMENTS	DALTON FLAT APARTMENTS	DALTON FLAT APARTMENTS	DALTON FLAT APARTMENTS
GEORGIA	GEORGIA	GEORGIA	GEORGIA	GEORGIA	GEORGIA
<b>TYPICAL DETAILS AND GENERAL NOTES</b>					
<b>W. HUNTER SAUSSY III, PC</b> 400 JOHNNY MERCER BLVD. SUITE A2 P.O. BOX 30597 SAVANNAH, GEORGIA 31410 PHONE: (912) 898-8255 FAX: (912) 898-1882 EMAIL: WHSNG@AOL.COM					
Job no: 99119	Scale: AS SHOWN	Date:	Designed: WWS III	Drawn: CJH	Checked: WWS III
<b>PRELIMINARY</b> NOT FOR CONSTRUCTION USE DATE: 12/21/99					
<b>W. HUNTER SAUSSY III, PC</b> 400 JOHNNY MERCER BLVD. SUITE A2 P.O. BOX 30597 SAVANNAH, GEORGIA 31410 PROJECT NO. 99119					
SHEET <b>53</b> 1 of 3					



**1 ELECTRICAL PLAN UNIT TYPE I**  
1/4"=1'-0"  
UNIT TYPE II SIMILAR



**2 ELECTRICAL PLAN UNIT TYPE III**  
1/4"=1'-0"

**GENERAL NOTES**

THE DRAWINGS INDICATE THE EXTENT AND GENERAL LAYOUT OF THE MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS. ALL WORK SHALL BE IN ACCORDANCE WITH THE DRAWINGS AND SHALL CONFORM WITH RECOGNIZED CODES AND STANDARDS, AS ENFORCED BY ALL GOVERNING AUTHORITIES HAVING JURISDICTION. IT IS RECOGNIZED THAT THE DRAWINGS ARE DIAGRAMMATIC IN SHOWING CERTAIN PHYSICAL RELATIONSHIPS WHICH MUST BE ESTABLISHED WITHIN THE SCOPE OF THE WORK, AND IN ITS INTERFACE WITH OTHER WORK, INCLUDING UTILITIES AND ELECTRICAL WORK, AND THAT SUCH ESTABLISHMENT IS THE EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR, AND AS SUCH, LOCAL CONDITIONS MAY NECESSITATE USING A DIFFERENT ARRANGEMENT OF PIPING, DUCTWORK, OR EQUIPMENT THAN THAT USED ON THE DRAWINGS. THE INTENT IN USING NAME AND MODEL OR TYPE NUMBER OF MANUFACTURER IN DESCRIPTION OF MATERIALS OR EQUIPMENT HEREIN IS TO ESTABLISH THE QUALITY OF MATERIALS AND EQUIPMENT OF EQUIVALENT TYPE AND QUALITY OF OTHERS THAN NAMED MANUFACTURER WILL BE ACCEPTABLE.

**MECHANICAL NOTES**

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS, ACTS AND ALL AUTHORITIES HAVING JURISDICTION.
- THE COMPLETED INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE INDUSTRY STANDARDS OF GOOD PRACTICE FOR SAFETY, AND THE MANUFACTURER'S STRICTEST RECOMMENDATIONS FOR EQUIPMENT AND PRODUCT APPLICATION AND INSTALLATION.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, LICENSES, DOCUMENTS AND SERVICES RELATED TO INSTALLATION AND WORK.
- PRIOR TO SUBMITTING A PROPOSAL, THE CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY INSPECT ALL EXISTING CONDITIONS TO INSURE THAT THE WORK REPRESENTED ON THE DRAWINGS AND IN THESE SPECIFICATIONS CAN BE INSTALLED AS INDICATED.
- DUCTWORK SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH ASHRAE AND LATEST SMACNA STANDARDS. PROVIDE TURNING VANES IN ALL ELBOWS AND MANUAL VOLUME DAMPERS IN ALL BRANCHES, SPLITTER DAMPERS, AIR EQUALIZERS, EXTRACTORS, AND SIMILAR DEVICES WHEREVER NECESSARY TO PROPERLY BALANCE THE SYSTEM AND PRODUCE A QUIET AND DRAFTLESS OPERATION.
- DUCTWORK SHALL BE AS PERMITTED BY CODE.
- FLEXIBLE DUCTWORK SHALL BE THERMAFLEX "MKA" WITH ONE INCH EXTERNAL INSULATION FINISHED WITH A VAPOR BARRIER, U.L. AND 90A LISTED. SHALL BE EQUIPPED WITH DIAMETER-EXTRACTOR AT THE SHEETMETAL DUCT AND CIRCULAR COLLAR AT THE DIFFUSER, MECHANICALLY SECURED.
- FLEXIBLE DUCTWORK SHALL NOT EXCEED LENGTH AS PERMITTED BY CODE; BENDS SHALL NOT RESTRICT THE INSIDE CROSS-SECTIONAL AREA OF THE DUCT; AND CONNECTION SHALL BE MADE AS DIRECT AS POSSIBLE TO THE MAIN SUPPLY.
- ALL WORK SHALL BE LOCATED TO PREVENT CONFLICTS WITH OTHER TRADES. PROVIDE ADEQUATE CLEARANCE FOR ARCHITECTURAL DESIGN, PROPER OPERATION AND SERVICE OF EQUIPMENT.
- PROVIDE A READY-TO-USE SYSTEM WITH ALL WORK GUARANTEED IN WRITING AGAINST DEFECTIVE WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM TURN OVER TO OWNER.
- CONDENSATE AND COOLER DRAINS, PER CODE.
- AIR CONDITIONING UNIT TO BE A MIN 10.5 SEER OR APE GEORGIA ENERGY CODE.

**ELECTRICAL NOTES**

- THE ELECTRICAL CONTRACTOR TO DESIGN THE ELECTRICAL SYSTEM AND PROVIDE ANY NECESSARY DOCUMENTATION TO THE CITY FOR APPROVAL. THE DESIGN AND ALL CONSTRUCTION SHALL CONFORM TO EXISTING STANDARDS AND SPECIFICATIONS AND ALL REQUIRED FEDERAL STATE AND MUNICIPAL CODES, LAWS, ORDINANCES AND REGULATIONS WHICH APPLY. FEDERAL AND STATE LAWS, MUNICIPAL ORDINANCES, AND THE RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER CONSTRUCTION OF THE PROJECT SHALL APPLY TO THE CONTRACT THROUGHOUT, AND THEY WILL BE DEEMED TO BE INCLUDED IN THE CONTRACT THE SAME AS THOUGH HEREIN WRITTEN OUT IN FULL.
- PROVIDE COMPLETE SYSTEM INCLUDING WIRING AND CABLE FOR POWER, LOW VOLTAGE AND CTY.
- ALL ACCENT OR SPECIALTY LIGHTING INSTALLATION SHALL BE INCLUDED.
- ALL PANELBOARDS SHALL BE FLUSH WITH THE EXTERIOR OR INTERIOR WALL FINISH. LABEL ALL CIRCUITS TO CLEARLY IDENTIFY EACH IN THE DIRECTORY PROVIDED W/ EACH PANEL. REVIEW CONTROL LAYOUTS W/ OWNER & ARCHT.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL ELECTRICAL ITEMS INCLUDING SURFACE MTD. FLUORESCENT FIXTURES.
- ALL ELECTRICAL AND MECHANICAL CONTROLS AND OUTLETS TO BE MOUNTED NO LOWER THAN 15" AFF AND NO HIGHER THAN 48" AFF.
- RANGE HOODS IN THE ACCESSIBLE UNITS SHALL BE SWITCHED TO THE NEAREST WALL.
- ALL CONDUCTORS SHALL BE COPPER.
- WIRE SIZE SHALL BE #12 CU. THW UNLESS SHOWN OTHERWISE.
- SEAL AROUND ALL WALL PENETRATIONS.
- ALL EQUIPMENT SHALL COMPLY WITH N.E.C. 110.3.
- ALL CONNECTIONS TO ALL EQUIPMENT TO BE MADE BY THE ELECTRICAL CONTRACTOR.

**PLUMBING NOTES**

- CONTRACTOR IS RESPONSIBLE FOR THE ENTIRE PLUMBING SYSTEM. FINAL TESTING PROCEDURES AND ALL CONNECTIONS ARE TO CONFORM TO LOCAL BUILDING STANDARDS AND THE SBCCI.
- THE PLUMBING DRAWINGS ARE OF SCHEMATIC FORM AND CHANGES MAY BE NECESSARY FOR CONVENIENCE, OBSTRUCTIONS, OR EFFICIENCY.
- ALL SOIL PIPING TO BE SCHEDULE 40 PVC AND SHALL SLOPE A MINIMUM OF 1/4" PER FOOT. ALL VENT PIPING TO BE SCHED 40 PVC.
- DOMESTIC WATER PIPING AND HOT AND COLD WATER PIPES TO BE PLASTIC OR COPPER AS ALLOWED BY CODE.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND UNUSED. THE CONTRACTOR SHALL USE ONLY QUALIFIED LABOR AND SUPERVISION FOR THE INSTALLATION OF SUCH MATERIALS AND EQUIPMENT.
- NO WORK SHALL BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED, AND APPROVED BY AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL MAKE ALL UTILITY CONNECTIONS AND PROVIDE ALL PERMITS, FEES, AND NECESSARY INFORMATION FOR HIS WORK. ALL WORK SHALL CONFORM WITH THE SBCCI, CITY, AND COUNTY CODES.
- CONTRACTOR SHALL VERIFY SIZE, DEPTH, LOCATION, AND ADEQUACY OF ALL UTILITIES, INCLUDING METER LOCATIONS AND SEWER INVERTS PRIOR TO START OF WORK.
- CONTRACTOR SHALL INSTALL CLEANOUTS WHERE INDICATED AND/OR AS REQUIRED BY CODE.
- ALL WORK SHALL CONFORM WITH LOCAL CODES AND OTHER AUTHORITIES HAVING JURISDICTION. COORDINATE ALL WORK WITH OTHER TRADES TO AVOID INTERFERENCES. FOR ROUGH-IN ELEVATIONS OF FIXTURES REFER TO ARCHITECTURAL DRAWINGS.
- ALL LINES UNDERGROUND SHALL BE LOCATED AWAY FROM BEARING FOOTINGS OR AS INSTRUCTED ON STRUCTURAL DRAWINGS.
- INSTALL BACKFLOW PREVENTER AS REQUIRED BY CODES.
- ALL PENETRATIONS OF FIRE-RATED SURFACES SHALL BE MADE WITH A NON-COMBUSTIBLE MATERIAL OF A FIRE RATING EQUAL TO THE MATERIAL PENETRATED AND SHALL BE COMPLETELY FIRESTOPPED. REFER TO ARCHITECTURAL PLANS TO DETERMINE FIRE-RATED SURFACES AND INCLUDE ALL COSTS IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT EQUIPMENT BEING PROVIDED AND INSTALLED BY HIM WILL FIT DIMENSIONALLY IN LOCATIONS SHOWN ON THE CONTRACT DRAWINGS.
- CONTRACTOR SHALL MAKE REASONABLE ALLOWANCES FOR PIPING NOT SHOWN ASSOCIATED WITH FIXTURES TO INCLUDE VALVES, FITTINGS, AND FIXTURE SUPPORT.
- EACH PLUMBING FIXTURE TO HAVE ITS OWN SHUT OFF VALVE.
- ALL PLUMBING FIXTURE VENTS SHALL TERMINATE NOT LESS THAN TEN FEET FROM OR AT LEAST THREE FEET ABOVE, AND WINDOW, DOOR, OPENING, AIR INTAKE OR VENT SHAFT, NOT LESS THAN ONE FOOT FROM ALL VERTICAL SURFACES.
- ALL VALVES, UNIONS, ETC., SHALL BE SAME SIZE AS LINE SIZE UNLESS OTHERWISE INDICATED ON DRAWINGS.
- UNIONS SHALL BE PROVIDED AND INSTALLED AFTER EACH SCREW-TYPE VALVE AND PRIOR TO EQUIPMENT CONNECTIONS. PROVIDE AND INSTALL ISOLATION UNIONS ON ALL CONNECTIONS BETWEEN DISSIMILAR METALS.
- SEE ARCHITECTURAL DRAWINGS FOR HANDICAP FIXTURE LOCATIONS AND MOUNTING HEIGHTS. INSULATE ALL EXPOSED HOT WATER AND DRAIN PIPING BELOW HANDICAP LAVATORIES AND SINKS WITH ARMOSTRONG THERMAFLEX OR EQUAL.
- ALL PIPES DISCHARGING INTO FLOOR SINKS AND/OR FLOOR DRAINS SHALL HAVE A MINIMUM AIR GAP AS REQUIRED BY LOCAL CODES.
- WHERE STREET MAIN PRESSURE EXCEEDS 80 PSI PROVIDE PRESSURE REDUCING VALVE ASSEMBLY COMPLETE WITH RELIEF VALVE.
- THE PLUMBING CONTRACTOR IS TO CONNECT HVAC CONDENSATE LINES TO WASTE WATER AS ALLOWED BY CODE. COORDINATE WITH HVAC CONTRACTOR.

REVISIONS	DATE

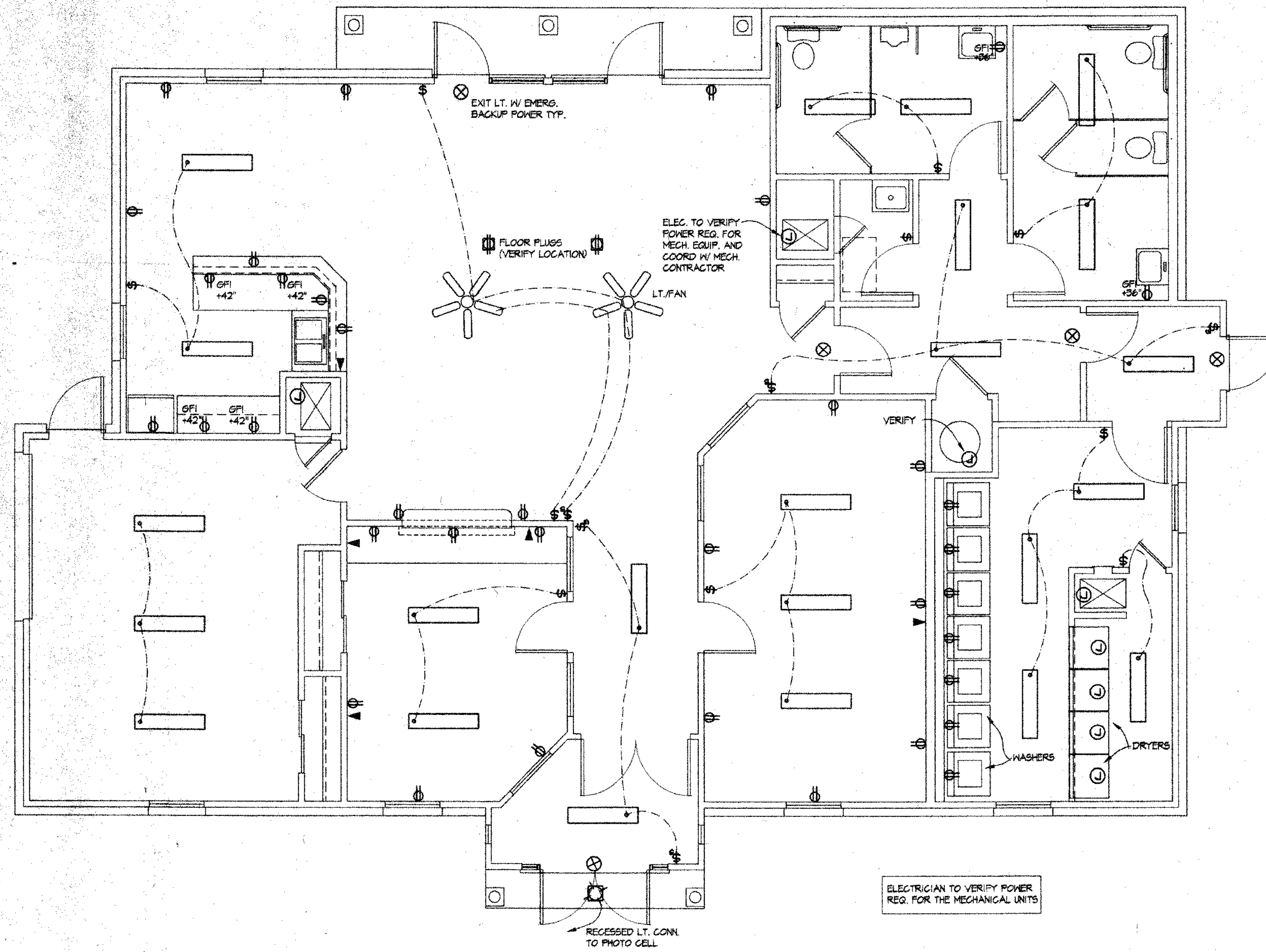


**PHM Ltd.**  
designers & architects  
504B City Blvd., Suite 359, Waycross, Georgia 31501

**DALTON FLATS**  
Dawnville Road  
Dalton, Georgia

DRAWN
CHECKED
DATE 12/04/98
SCALE AS NOTED
JOB NUMBER

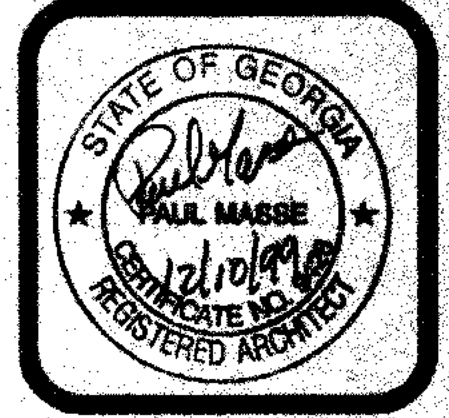
SHEET NO.  
**MEP-1**  
OF 1



**1 CLUBHOUSE ELECTRICAL PLAN**  
 1/4"=1'-0"  
 UNIT TYPE II SIMILAR

**GENERAL NOTES**  
 THE DRAWINGS INDICATE THE EXTENT AND GENERAL LAYOUT OF THE MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS. ALL WORK SHALL BE IN ACCORDANCE WITH THE DRAWINGS AND SHALL CONFORM WITH RECOGNIZED CODES AND STANDARDS, AS ENFORCED BY ALL GOVERNING AUTHORITIES HAVING JURISDICTION. IT IS RECOGNIZED THAT THE DRAWINGS ARE DIAGRAMMATIC IN SHOWING CERTAIN PHYSICAL RELATIONSHIPS WHICH MUST BE ESTABLISHED WITHIN THE SCOPE OF THE WORK, AND IN ITS INTERFACE WITH OTHER WORK, INCLUDING UTILITIES AND ELECTRICAL WORK, AND THAT SUCH ESTABLISHMENT IS THE EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR, AND AS SUCH, LOCAL CONDITIONS MAY NECESSITATE USING A DIFFERENT ARRANGEMENT OF PIPING, DUCTWORK, OR EQUIPMENT THAN THAT USED ON THE DRAWINGS. THE INTENT IN USING NAME AND MODEL OR TYPE NUMBER OF MANUFACTURER IN DESCRIPTION OF MATERIALS OR EQUIPMENT HEREIN OR ON DRAWINGS IS TO ESTABLISH TYPE OF QUALITY OF MATERIALS AND EQUIPMENT OF EQUIVALENT TYPE AND QUALITY OF OTHERS THAN NAMED MANUFACTURER WILL BE ACCEPTABLE.

REVISIONS	DATE



**PHM Ltd.**  
 designers & architects  
 504B City Blvd., Suite 309, Waycross, Georgia 31501

**DALTON FLATS**  
 Dawnville Road  
 Dalton, Georgia

DRAWN
CHECKED
DATE
PPR/C/21
SCALE
AS NOTED
JOB NUMBER

SHEET NO.  
**MEP-2**  
 OF



**EMC ENGINEERING SERVICES, INC.**  
 Post Office Box 8101  
 23 East Charlton Street  
 Savannah, Georgia 31412  
 Phone: (912) 232-6533  
 Fax: (912) 232-2920

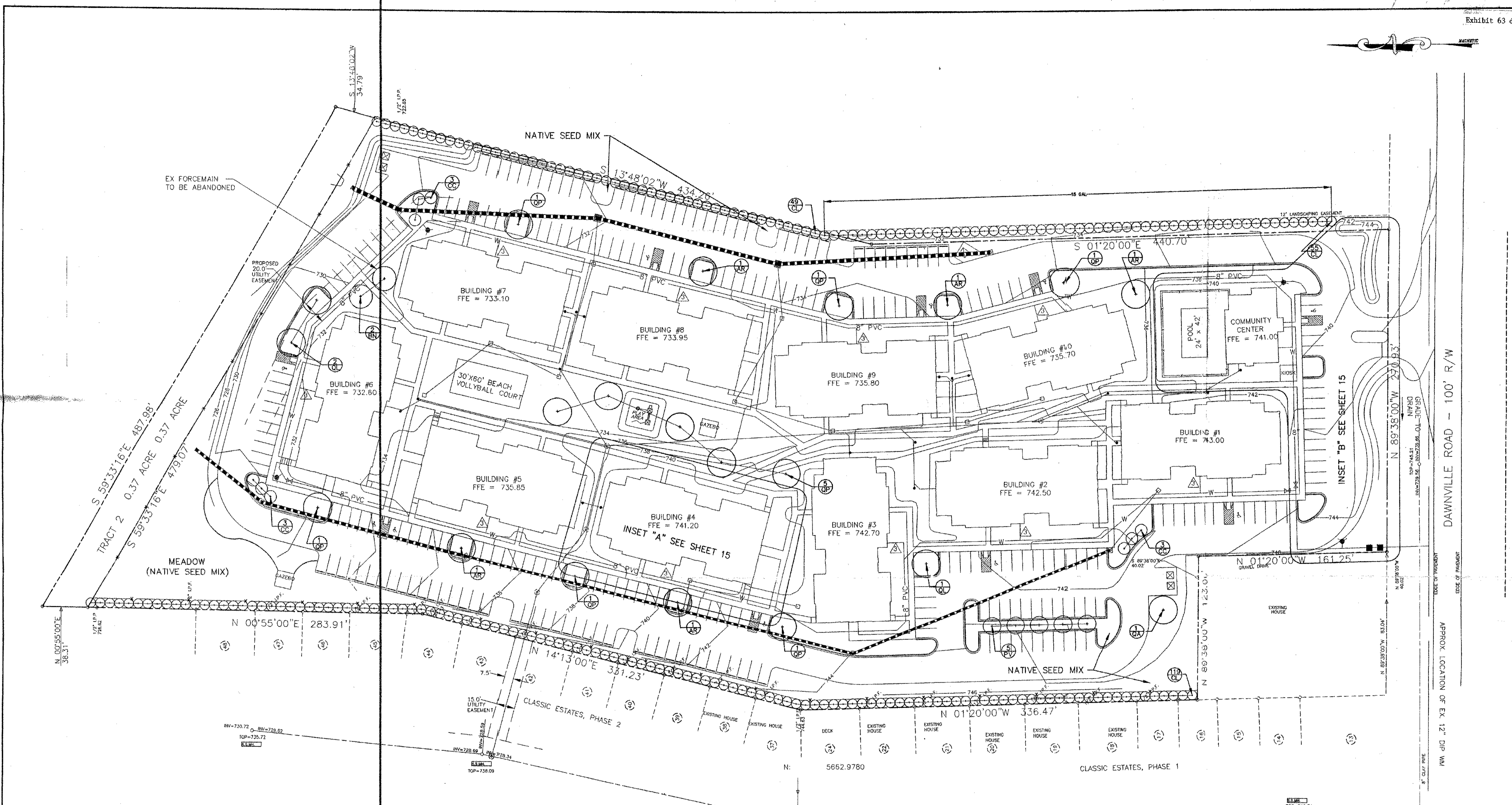
**DALTON FLATS APARTMENTS  
 DALTON, GEORGIA**

**LANDSCAPE PLAN**

*Dawnville Studios*

REVISIONS	
NUMBER	DATE
1	1/20/00
2	2/2/00
3	2/7/00

DESIGN: DWF  
 GRAPHICS: CLM  
 REVIEW: DWF  
 DATE: DEC. 1999  
 SCALE: 1" = 40'  
 PROJECT: 99063

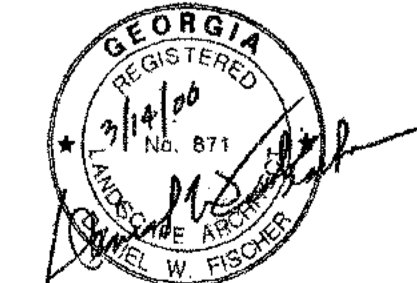
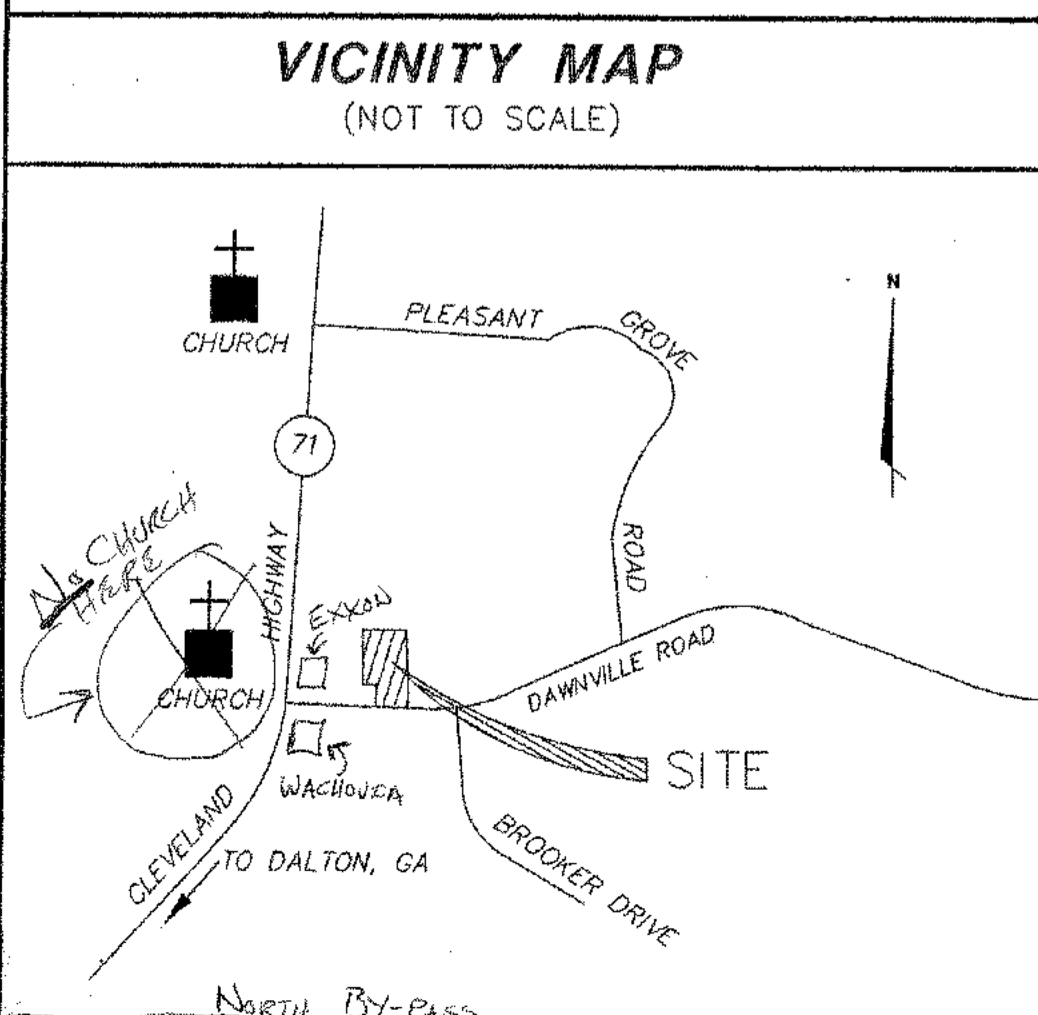


- LANDSCAPE NOTES:**
- ALL DISTURBED AREAS NOT COVERED BY STRUCTURES, PAVING, NATIVE GRASS, OR LANDSCAPING SHALL BE GRASSED BY SEEDING AS PER OWNER.
  - ALL PLANT BEDS SHALL BE MULCHED WITH 3" OF PINE STRAW.
  - NO LARGE TREES SHALL BE PLANTED WITHIN 150 FEET OF ANY UNDERGROUND UTILITY LINE OR STORM DRAIN. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF UTILITIES PRIOR TO BEGINNING PLANT INSTALLATION. LANDSCAPE ARCHITECT TO APPROVE ALL REVISIONS TO PLANT LOCATIONS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY UTILITY LINES DAMAGED DURING PLANTING.
  - SEE DETAILS ON SHEET 15 FOR SHRUB AND TREE INSTALLATION.
  - TOP SOIL SHALL BE ADDED TO WITHIN 1' OF TOP OF CURB / EDGE OF PAVEMENT
  - AN UNDERGROUND IRRIGATION SYSTEM IF INSTALLED, SHALL COMPLY WITH ALL CITY OF DALTON CODES AND REGULATIONS AND ALSO COMPLY WITH THE LATEST NATIONAL ELECTRIC CODE RULES FOR ALL ELECTRIC WORKS AND MATERIALS.
  - WARRANTY**  
 THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND PLANT MATERIAL TO BE FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE PROJECT. CONTRACTOR SHALL REPLACE ANY PLANT MATERIAL FOUND TO BE DEFECTIVE WITHIN THE PERIOD OF GUARANTEE AT NO COST TO THE OWNER, EXCEPT REPAIR OR REPLACEMENT NECESSITATED BY DAMAGE BY OTHERS.

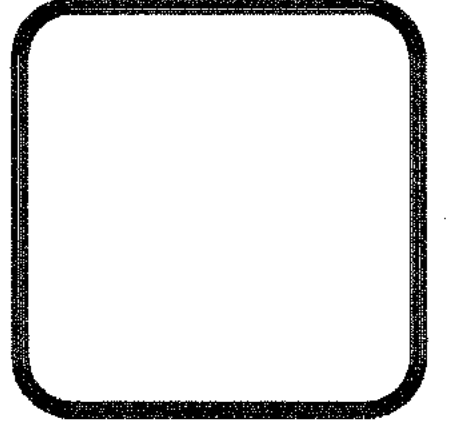
□ = NDS #900 CATCH BASIN OR EQUAL

ITEM	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	SPACING	NOTES
AR	ACER RUBRUM 'AUTUMN BLAZE'	RED MAPLE	8	2"-2 1/2" GAL	AS SHOWN	-
CL	CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	168	3 GAL 3-4' HT	AS SHOWN	-
CC	CARPIUS CAROLINIANA	AMERICAN HICKORY	9	1" CAL. 6-8 FT	AS SHOWN	-
QP	QUERCUS PHAEOLIS	WILLOW DAK	11	2"-2 1/2" GAL	AS SHOWN	-
DL	QUERCUS LAURIFOLIA 'DARLINGTON'	LAUREL DAK	5	2"-2 1/2" GAL	AS SHOWN	-
PV	PINUS VIRGINIANA	VIRGINIA PINE	5	7 GALLON 4"-5" HT	AS SHOWN	-
QA	QUERCUS ADUSTA	SAWTOOTH DAK	2	2"-2 1/2" GAL	AS SHOWN	-
CL	CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	55	15 GALLON 6'-7" HT	AS SHOWN	-
JCP	JUNIPERUS CHINENSIS 'PARSONII'	PARSONS JUNIPER	781	3 GAL	3" O.C.	-
CCA	CERCIS CANADENSIS	EASTERN REDBUD	22	6-8 FT. 1" CAL.	AS SHOWN	-
ICB	ILEX CORNUTA 'HIBERNICA'	DWARF BURFORD HOLLY	184	3 GAL	4" O.C.	-
ICC	ILEX CORNUTA 'CARISSA'	CARISSA HOLLY	180	3 GAL	3" O.C.	-
RI	RAPHIDOLEPSIS INDICA	INDIA HAWTHORN	493	3 GAL	3" O.C.	-
IVS	ILEX VITIFOLIA 'SHILLINGS'	DWARF YALPON HOLLY	255	3 GAL	3" O.C.	-
HY	HEMEROCALLIS HYBRIDA	EVERGREEN DAYLILY	780	1 GAL	18" O.C.	-
NB	NANDINA DOMESTICA	HEAVENLY BAMBOO	47	7 GAL	3" O.C.	-
IOS	ILEX OPACA 'SAVANNAH'	SAVANNAH HOLLY	29	1" CAL 5-6' HT	AS SHOWN	-
CJ	CLEYERA JAPONICA	CLEYERA	69	7 GAL	5" O.C.	-
LI	LAGOSTROEMIA INDICA 'POTOMAC'	CRANE MYRTLE	27	1" CAL. 6-7 FT	AS SHOWN	-
ICR	ILEX CRENATA 'ROTUNDFOLIA'	ROUNDLEAF JAPANESE HOLLY	181	7 GAL	AS SHOWN	-
ICH	ILEX CRENATA 'HELLERI'	HELLER JAPANESE HOLLY	265	3 GAL	3" O.C.	-
AHZ	AZALEA HYBRIDA	GLENN DALE AZALEA	180	3 GAL	3" O.C.	-
LV	LIRIODIUM MICHXII 'SILVER SUNSHINE'	VIRGATED LIRIODE	608	1 GAL	18" O.C.	-
EJ	Berberis julianae	WINTERGREEN BARBERRY	43	3 GAL	3" O.C.	-
MB	MAHONIA BEALEI	LEATHER LEAF MAHONIA	3	7 GAL	AS SHOWN	-
IC	ILEX CORNUTA 'ROTUNDA'	DWARF CHINESE HOLLY	30	3 GAL	3" O.C.	-
MS	MISCANTHUS SINEENSIS 'GRAZIELLA'	MAISEN GRASS	188	1 GAL	AS SHOWN	-
FA	Pennisetum alpicurcuboides	PENNISETUM	177	1 GAL	AS SHOWN	-
ANN	(VARIES)	ANNUALS	148	4" POT	12" O.C.	-
OP	OSMANTHUS FRAGRANS	TEA OLIVE	2	6" O.C.	AS SHOWN	-
BN	BETULA NIGRA	RIVER BIRCH	2	2"-2 1/2" GAL	AS SHOWN	-

**\*\*NOTE\*\***  
 NATIVE GRASS SHALL BE: RECLAIM SOUTHEAST NATIVE GRASS MIXTURE 50 LBS/AC (LOFTS SEED INC.)  
 MIX WITH SOUTHERN WILDFLOWER MIX 2 LBS/AC (LOFTS SEED INC.)



REVISIONS	DATE

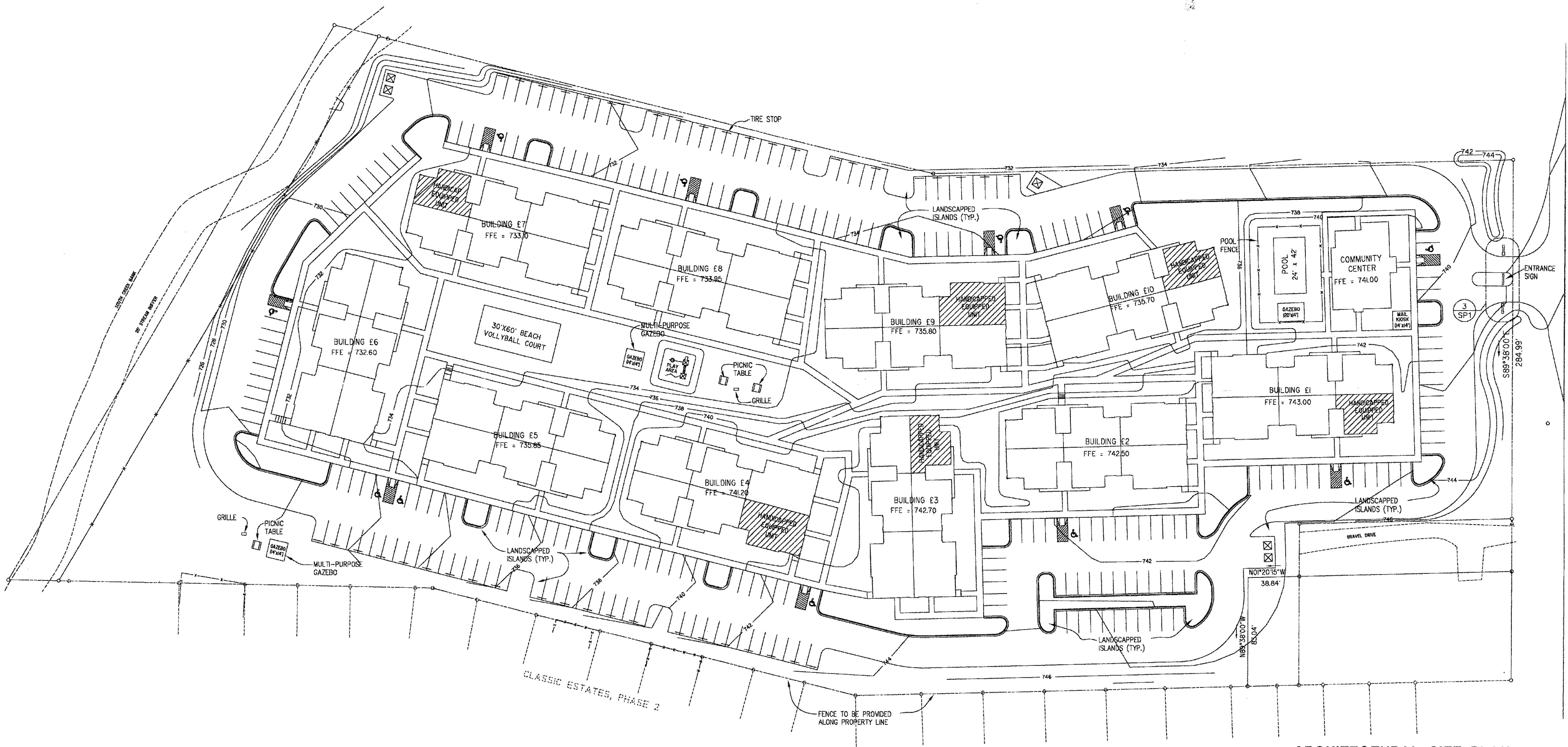


**PHM Ltd.**  
designers & architects  
5048 City Blvd., Suite 359, Waycross, Georgia 31501

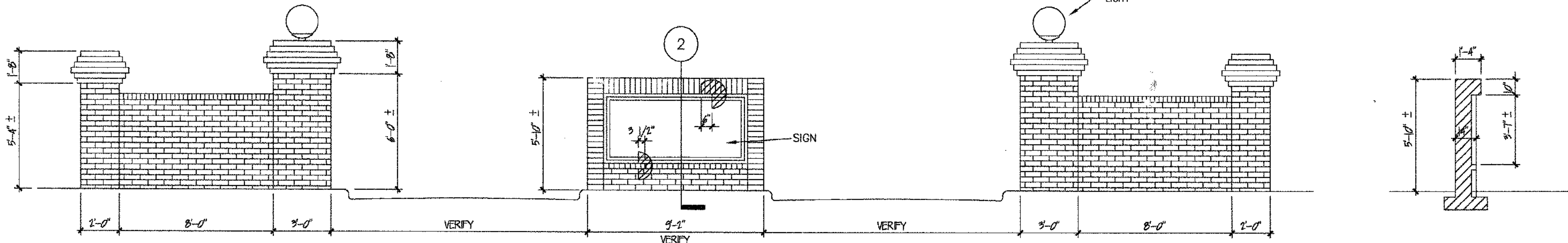
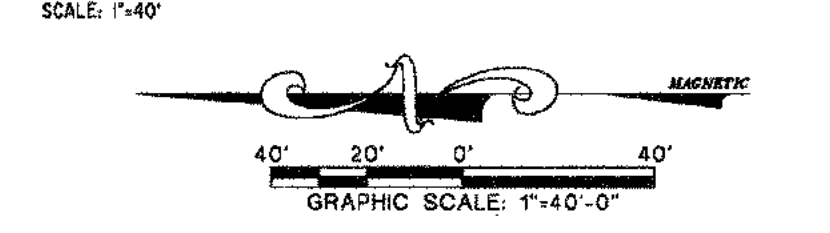
**DALTON FLATS**  
Dawnville Road  
Dalton, Georgia

DRAWN
CHECKED
DATE 02/18/00
SCALE AS NOTED
JOB NUMBER

SHEET NO.  
**SP-1**



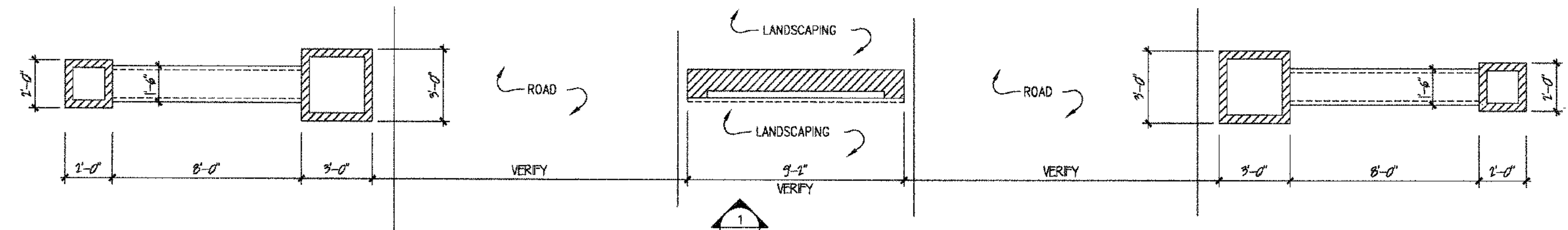
**ARCHITECTURAL SITE PLAN**



**1 ENTRANCE SIGN ELEVATION**  
1/4"=1'-0"

**2 PROFILE SECTION**  
1/4"=1'-0"

- NOTE:**
- SIX HANDICAPPED EQUIPPED UNITS ARE PROVIDED.
  - ALL GROUND FLOOR UNITS ARE HANDICAPPED ADAPTABLE, AND ARE ACCESSIBLE TO THE MOBILITY IMPAIRED.
  - A MINIMUM OF THREE UNITS ARE TO BE EQUIPPED FOR HEARING AND SITE IMPAIRED. UNITS LOCATION TO BE DETERMINED BY UNIT (SIZE) NEED.
  - ALL LANDSCAPED AREAS TO BE PROVIDED WITH SPRINKLERS.



**3 ENTRANCE SIGN IN PLAN**  
1/4"=1'-0"

REVISED FROM THE PREVIOUS

# CONSTRUCTION PLANS FOR DALTON FLATS APARTMENT COMPLEX DALTON, GEORGIA

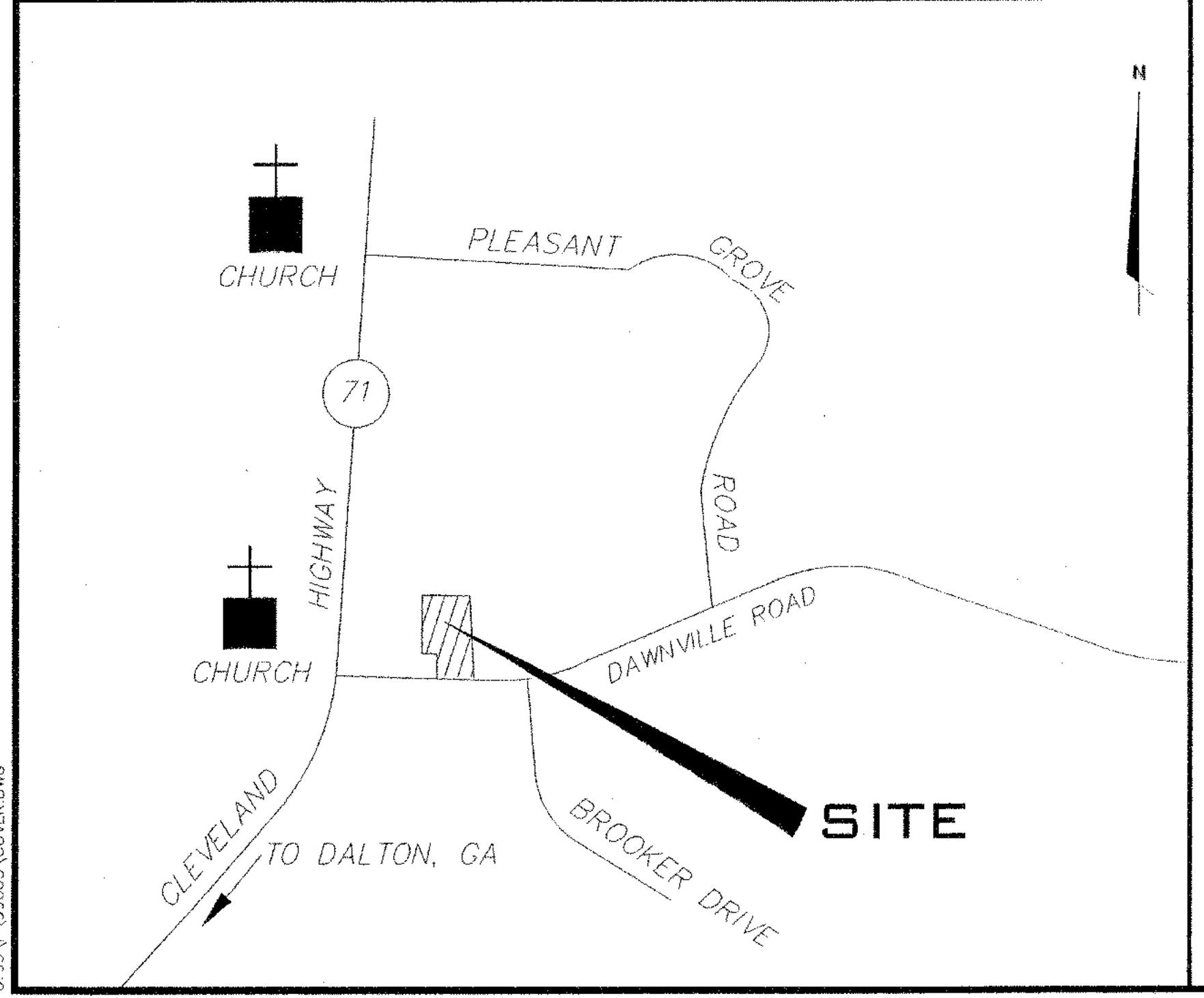
DECEMBER, 1999  
EMC PROJECT NO. 99-063

## INDEX OF SHEETS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES AND LEGEND
3	TOPOGRAPHIC AND DEMOLITION PLAN
4	STAKING PLAN
5	PAVING, GRADING, AND DRAINAGE PLAN
6	UTILITY PLAN
7	PROFILES
8	PROFILES
<del>9</del>	<del>PROFILES - OMITTED</del>
10	SOIL EROSION AND SEDIMENT CONTROL PLAN
11	SOIL EROSION AND SEDIMENT CONTROL PLAN
12	CONSTRUCTION DETAILS
13	CONSTRUCTION DETAILS
<del>14</del>	<del>LANDSCAPE PLAN - OMITTED</del>
<del>15</del>	<del>LANDSCAPE PLAN - OMITTED</del>

### VICINITY MAP

(NOT TO SCALE)



DEVELOPER/RESPONSIBLE PARTY:  
DALTON FLATS APARTMENTS, LP  
11285 ELKINS ROAD SUITE C-1  
ROSWELL, GEORGIA 30076  
(770) 772-4885

**EMC ENGINEERING SERVICES, INC.**  
ENVIRONMENTAL - MARINE - CIVIL



POST OFFICE BOX 8101  
23 EAST CHARLTON STREET  
SAVANNAH, GEORGIA 31412  
PHONE: (912) 232-6533  
FAX (912) 232-2920





## GENERAL NOTES

- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL REQUIRED PERMITS ARE IN HAND PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH WHITEFIELD COUNTY'S CONSTRUCTION DETAILS AND SPECIFICATIONS, CURRENT EDITION.
- PRIOR TO INSTALLATION OF ANY UTILITY LINES, THE CONTRACTOR SHALL GIVE THE UTILITY COMPANIES THREE (3) WORKING DAYS NOTICE TO ALLOW TIME FOR EXISTING UTILITIES TO BE STAKED. BEFORE CALLING (1-800-282-7411) THE CONTRACTOR SHALL HAVE THE FOLLOWING INFORMATION READY: COUNTY, TOWN, LOCATION, NEAREST STREET INTERSECTIONS, TYPE OF WORK (SEWER, WATER, PAVING, ETC.) YOUR COMPANY NAME, TELEPHONE NUMBER, OWNER'S NAME, DATE AND TIME YOU EXPECT TO COMMENCE CONSTRUCTION, AND WHERE AND HOW YOU CAN BE REACHED AND THE BEST TIME TO CONTACT YOU. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLAN OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANIES, AND THE CONTRACTOR SHALL COOPERATE WITH THEM DURING RELOCATION OPERATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY VARIANCES PRIOR TO COMMENCEMENT OF WORK OR PURCHASING ANY MATERIALS.
- ALL KNOWN UTILITY FACILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS AND ARE NOT NECESSARILY ACCURATE AS TO PLAN OR ELEVATION. UTILITY FACILITIES SUCH AS SERVICE LINES OR UNKNOWN FACILITIES NOT SHOWN ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES.
- IT IS THE OBLIGATION OF THE CONTRACTOR TO MAKE HIS OWN INTERPRETATION OF ALL SURFACE AND SUBSURFACE DATA THAT IS AVAILABLE AS TO THE NATURE AND EXTENT OF THE MATERIALS TO BE EXCAVATED AND WASTED, GRADED AND COMPACTED. THE INFORMATION SHOWN ON THESE PLANS AND SPECIFICATIONS DOES NOT IN ANY WAY GUARANTEE THE AMOUNT OR NATURE OF THE MATERIAL WHICH MAY BE ENCOUNTERED.
- ALL REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF AASHTO:M170 (GDOT STANDARD SPECIFICATIONS - SECTION 843).
- FILL MATERIAL SHALL BE CLEAN AND FREE OF ALL DEBRIS AND ORGANIC MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING THE BORROW MATERIAL NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT.
- ALL ITEMS REMOVED FROM THE PROJECT WHICH ARE NOT TO BE REUSED SHALL BE MOVED TO A LOCATION APPROVED BY THE OWNER TO ASSURE NO UNSIGHTLY DEBRIS ALONG THE PROJECT DURING CONSTRUCTION.
- DURING CONSTRUCTION IN THE AREA OF AN INTERSECTION, WORK WILL BE PERFORMED IN SUCH A MANNER AS TO PERMIT TRAFFIC TO OPERATE WITH THE LEAST AMOUNT OF INCONVENIENCE POSSIBLE. ADDITIONAL CHANNELIZATION AND SIGNING SHALL BE INSTALLED, AS DIRECTED BY THE ENGINEER, TO ALLOW TRAFFIC TO FLOW AS FREELY AS POSSIBLE. WHEN AN INTERSECTION IS INOPERABLE, FLAGGERS WILL BE UTILIZED.
- ALL SIGNING SHALL BE PER GDOT STANDARDS AND M.U.T.C.D.
- ALL PROPOSED SPOT ELEVATIONS SHOWN AS (+16.52) ARE PROPOSED PAVEMENT OR CONCRETE SIDEWALK SPOT ELEVATIONS AND NOT TOP OF CURB ELEVATIONS UNLESS OTHERWISE NOTED.

## WATER MAIN NOTES

- PIPE, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPE, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM DIRT AND FOREIGN MATTER AT ALL TIMES.
- ANY DEFECTIVE, DAMAGED, OR UNSOUND PIPE SHALL BE REJECTED. ALL FOREIGN MATTER OR DIRT SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND IT SHALL BE KEPT CLEAN BY APPROVED MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT DIRT FROM ENTERING THE JOINT SPACE. AT TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE PLUGGED OR COVERED BY APPROVED MEANS, AND NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.
- ALL WATER MAINS HAVE A MINIMUM COVER OF 42" FROM FINISHED GRADE.
- ALL WET TAPS SHALL INCLUDE TAPPING SADDLES, SLEEVES, VALVES AND VALVE BOXES OR MANHOLES AS NOTED ON THE UTILITY SHEET.
- DURING INSTALLATION, WHEN PIPE LAYING IS NOT IN PROGRESS, A MECHANICAL JOINT PLUG OR CAP, OR APPROVED EQUAL, WILL BE USED TO FORM A WATER TIGHT SEAL AT BOTH ENDS OF THE LINE BEING LAID.
- DISINFECTION AND FLUSHING WATER MAINS:**  
CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF ANY DISINFECTION AND FLUSHING OF NEWLY CONSTRUCTED WATER MAINS. FLUSHING WATER AND SUPER CHLORINATED WATER WILL BE DISPOSED OF BY ONE OF THE FOLLOWING METHODS AS APPROVED BY THE ENGINEER.  
**DISINFECTION - SUPER CHLORINATED WATER (SCW)**  
THE CONTRACTOR MAY DISCHARGE SCW DIRECTLY INTO THE SANITARY SEWER SYSTEM UNDER THE SUPERVISION OF THE ENGINEER AS FOLLOWS:  
THE ENGINEER INSPECTS THE SANITARY SEWER AND DETERMINES A FLOW RATE IN THE SEWER AND CALCULATES A DISCHARGE FOR SCW THAT WILL PROVIDE ACCEPTABLE DILUTION OF THE SCW SO AS NOT TO IMPACT DOWNSTREAM CONDITIONS OR TREATMENT PLANT PROCESS. IF THE FLOW IS NOT SUFFICIENT THEN THE SCW MAY BE DILUTED PRIOR TO DISCHARGE OR RECOVERED BY TANKER TRUCK AND DISPOSED OF OFF-SITE IN A LEGAL MANNER.  
**FLUSHING**  
A. FLUSHING WATER MAY BE DISCHARGED INTO THE CITY OF DALTON SANITARY SEWER SYSTEM AFTER BEING FILTERED OF LARGE SOLIDS AND SEDIMENT UNDER THE SUPERVISION OF THE ENGINEER.  
B. FLUSHING PROCEDURES SHOULD INCLUDE OPEN-ENDED FLUSHING IN ORDER TO INSURE THE LINE IS CLEAR.  
C. FLUSH THE NEW PIPE LINES UNTIL THE WATER RUNS CLEAR AT THE END OF ALL MAINS AND LATERALS. THIS SHOULD BE DONE AFTER PRESSURE TEST AND BEFORE DISINFECTION.  
D. THE LINES SHALL BE FLUSHED USING A METHOD ACCEPTABLE TO THE CITY OF DALTON PRIOR TO CONNECTION TO THE CITY WATER SYSTEM. THE LINES SHALL BE FLUSHED FOR 30 MINUTES AT A VELOCITY SUFFICIENT TO PURGE THE LINES OF ANY FOREIGN MATTER.  
E. CLEAN THE INTERIOR OF ALL PIPE BY BRUSHING, SWABBING, OR WASHING OUT ALL DIRT BEFORE LAYING.
- ALL WATER UTILIZED FOR CONSTRUCTION WILL BE METERED THROUGH A HYDRANT METER EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE OBTAINED FROM THE CITY OF DALTON WATER DEPARTMENT.
- PRIOR TO CONNECTING TO ANY EXISTING CITY OF DALTON'S UTILITIES AND PRIOR TO DIGGING FOR ANY PROPOSED CONSTRUCTION OF THE CITY OF DALTON'S WATER MAINS, SANITARY SEWER LINES, OR STORM SEWER SYSTEMS, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE DEPARTMENT HEADS A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
- THE WATER SERVICE LATERAL SERVING THE FACILITY SHALL BE INSTALLED BY THE WATER DEPARTMENT FROM THE WATER MAIN TO THE PROPERTY LINE. ACTUAL TAPPING OF THE WATER MAIN WILL BE DONE BY THE CITY. COORINATION WITH THE WATER OPERATION DEPARTMENT WILL REQUIRE A MINIMUM OF 72-HOURS NOTICE.
- A FIRE SPRINKLER SYSTEM IS NOT PROPOSED FOR THIS DEVELOPMENT

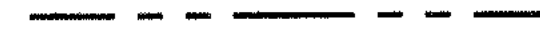
## LEGEND

### DESCRIPTION

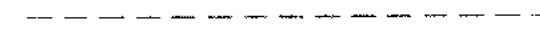
### EXISTING

### PROPOSED

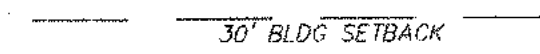
PROPERTY LINE



EASEMENT



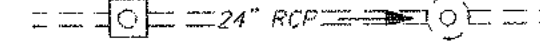
BUILDING SETBACK LINE



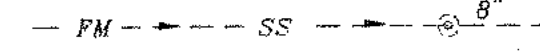
CONCRETE SIDEWALKS



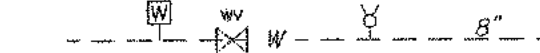
STORM DRAINAGE (PIPES, CURB INLET, AND MANHOLE)



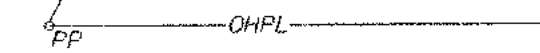
SANITARY SEWER



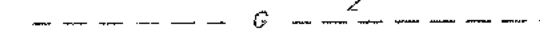
WATER MAIN SYSTEM WITH METER AND FIRE HYDRANT



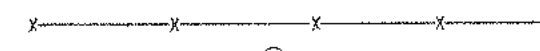
OVERHEAD POWER



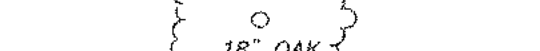
GAS



FENCE



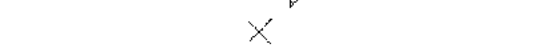
TREE



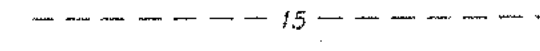
TREE TO BE REMOVED



SPOT ELEVATION



CONTOURS



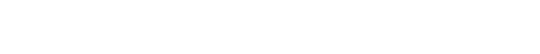
IRON ROD FOUND



CONCRETE MONUMENT FOUND



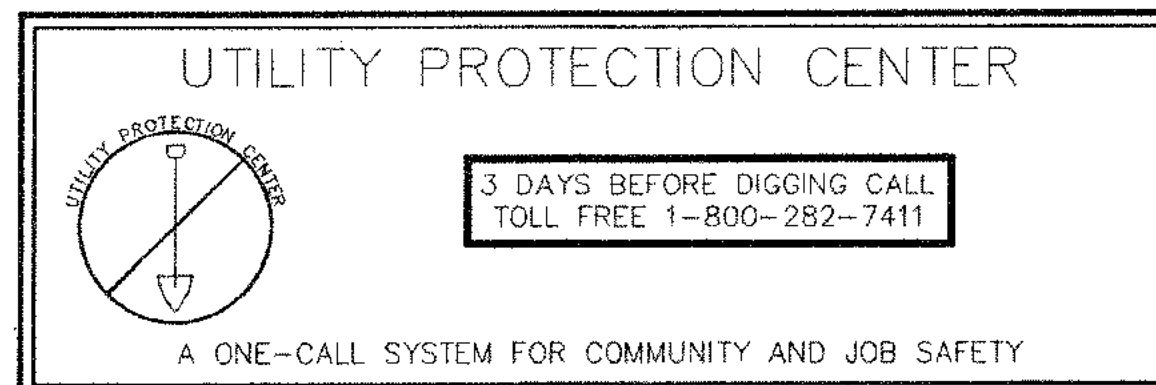
DRAINAGE FLOW ARROW



TREE TO BE PROTECTED



\*\*\*CAUTION\*\*\*



EMC ENGINEERING SERVICES, INC.

Post Office Box 8101  
23 East Cherokee  
Suwanee, Georgia 30088  
Phone: (912) 232-6533  
Fax: (912) 232-2920

PREPARED FOR:  
IRONWOOD DEVELOPMENT, LLC  
11285 ELKINS ROAD SUITE C-1  
ROSSELL, GEORGIA 30076

GENERAL NOTES AND LEGEND

REVISIONS	
NUMBER	DATE

DESIGN: NJD  
GRAPHICS: NJD  
REVIEW: CLK  
DATE: OCT 1999  
SCALE: N.T.S.  
PROJECT: 99-063.70

SHEET: 2 OF 15

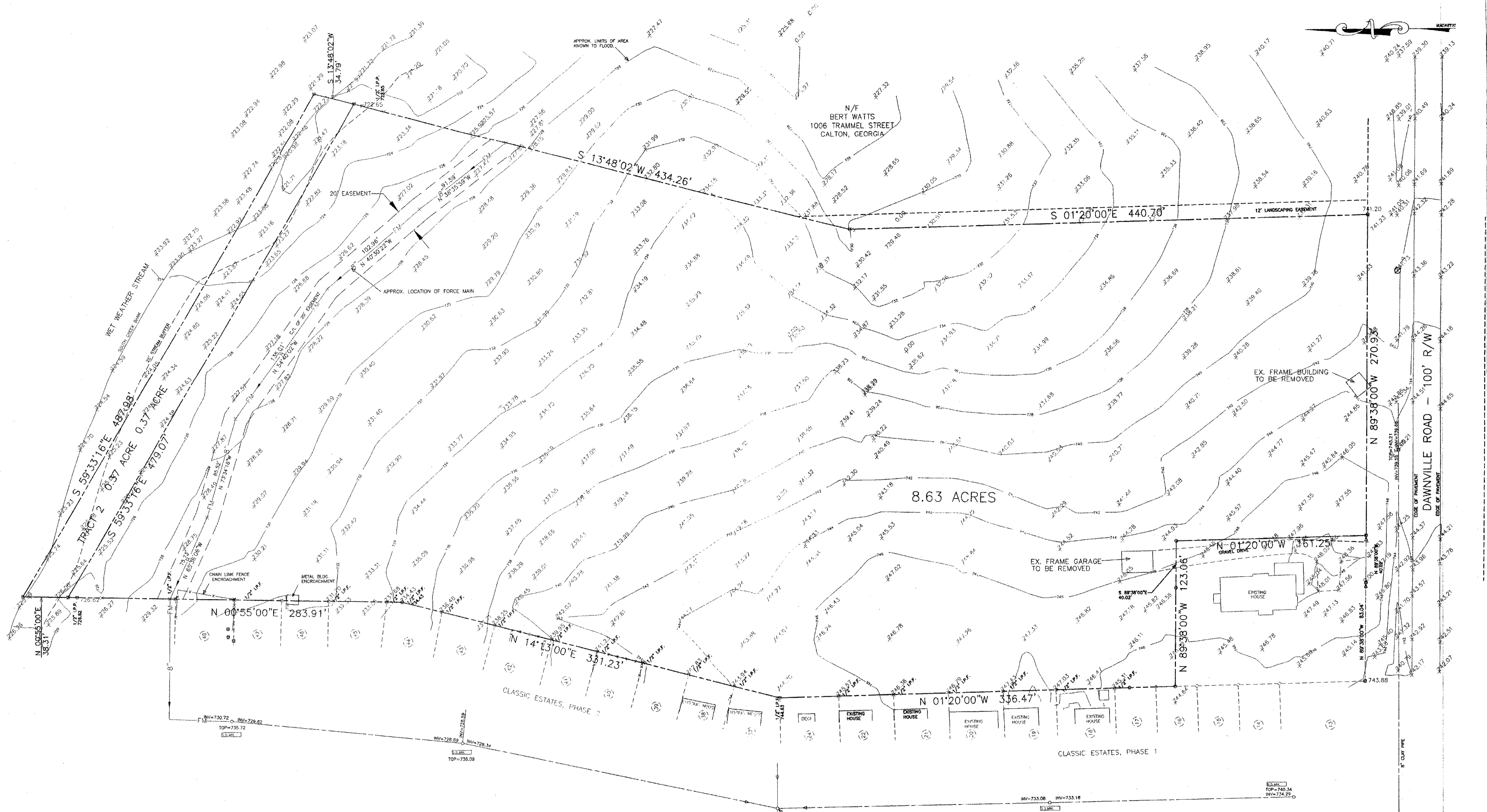


EMC ENGINEERING SERVICES, INC.

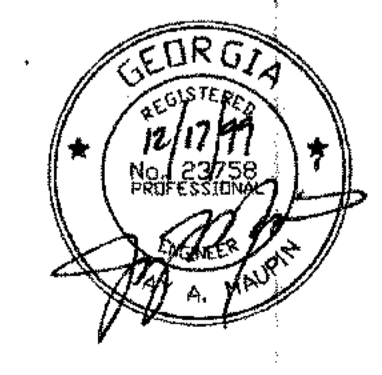
Post Office Box 8101  
2300 Old Peachtree Road  
Savannah, Georgia 31412  
Phone: (912) 232-6533  
Fax: (912) 232-2920

DALTON FLATS APARTMENTS  
DALTON, GEORGIA

TOPOGRAPHIC, DEMOLITION,  
AND TREE PROTECTION PLAN



- NOTES:
1. ALL FIELD INFORMATION HAS BEEN PROVIDED BY JOE R. EVANS & ASSOCIATES LAND SURVEYORS, DUG GAP ROAD, DALTON, GA 30702
  2. THIS PROJECT IS LOCATED IN LAND LOT 102, 12TH DISTRICT, 3RD SECTION WHITEFIELD COUNTY, GA.

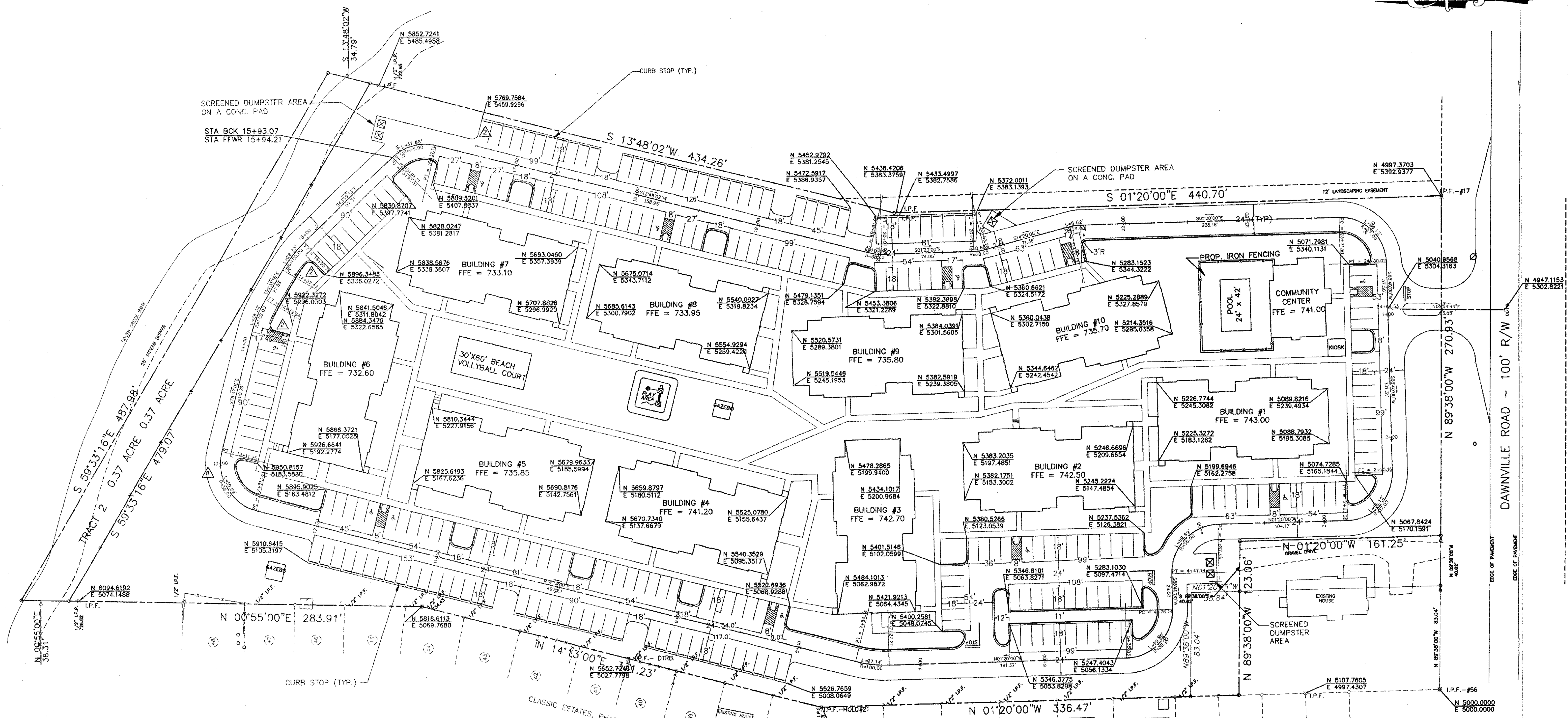


GRAPHIC SCALE: 1" = 40'

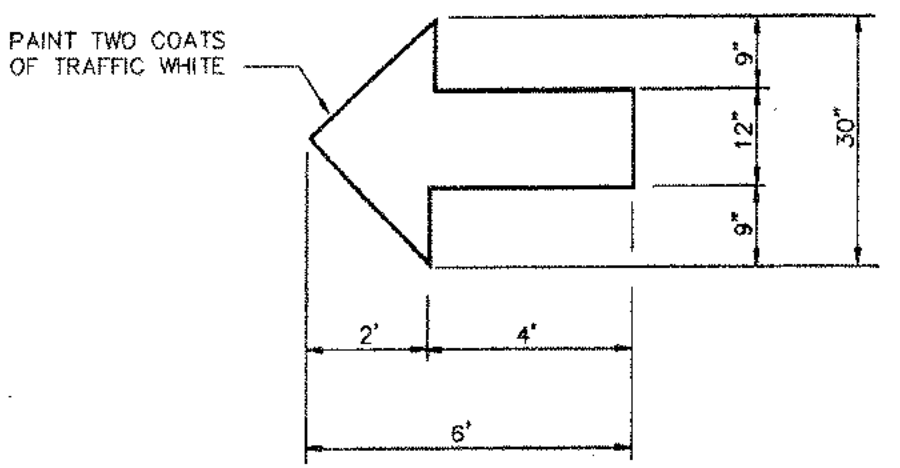
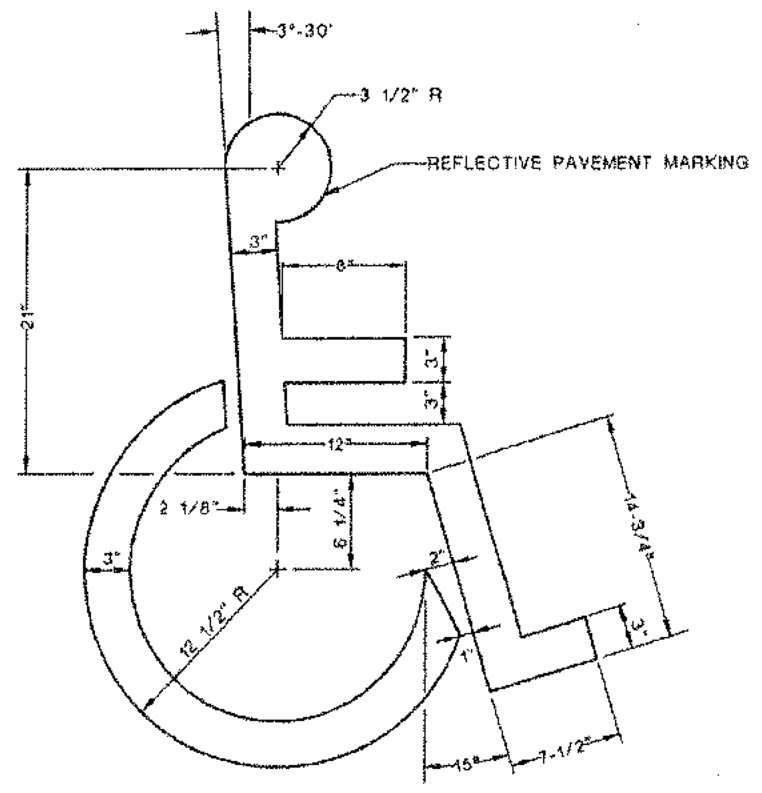
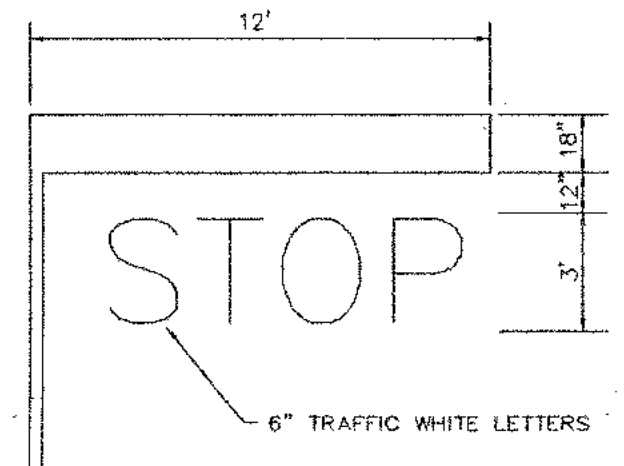
REVISIONS	
NUMBER	DATE

DESIGN: JAM  
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 REVIEW: CLK  
 DATE: DEC. 1999  
 SCALE: 1" = 40'  
 PROJECT: 99063

0488949903BASEDWG

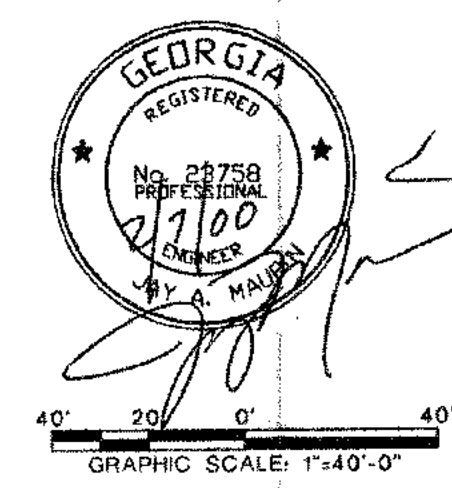


- NOTES:**
1. CONTRACTOR SHALL FIELD VERIFY ALL PROPERTY MONUMENTS.
  2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DRAINAGE WATER AND SEWER STRUCTURES.
  3. ALL RADII ARE 5 FEET UNLESS OTHERWISE NOTED.
  4. ALL PARKING SPACES ARE 9'0" WIDE.
  5. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. EX: BC - BACK OF CURB.

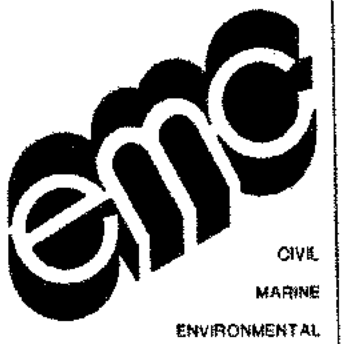


REVISIONS	
NUMBER	DATE
1	1/20/00
2	2/4/00
3	2/7/00

DESIGN: JAM  
 GRAPHICS: CLM  
 REVIEW: CLK  
 DATE: DEC. 1999  
 SCALE: 1" = 40'  
 PROJECT: 99063



GRAPHIC SCALE: 1"=40'-0"



EMC ENGINEERING SERVICES, INC.

Post Office Box 8101  
23 East Chatham Street  
Dalton, Georgia 30702  
Phone: (912) 232-6532  
Fax: (912) 232-2920

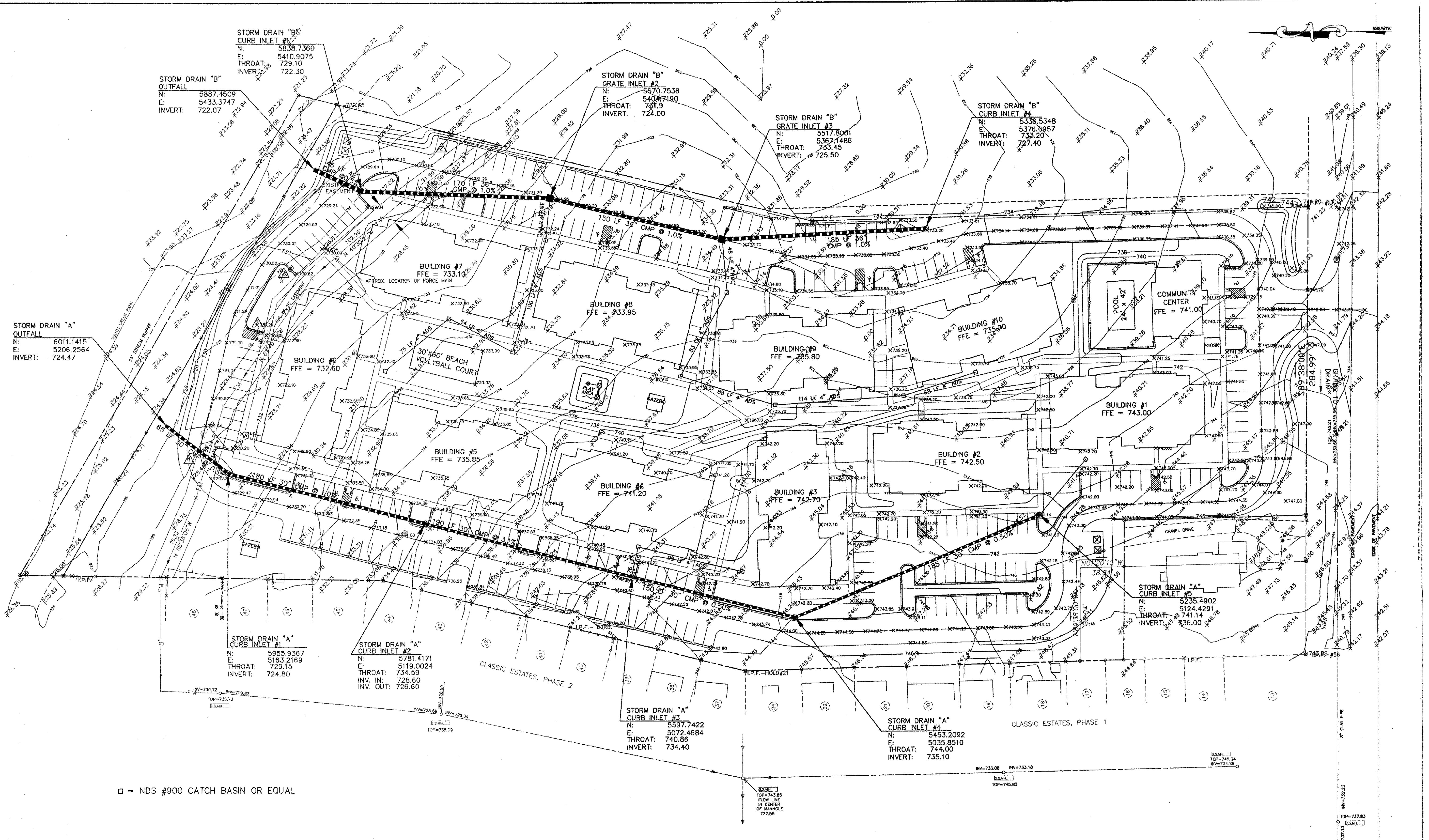
DALTON FLATS APARTMENTS  
DALTON, GEORGIA

PAVING GRADING AND  
DRAINAGE PLAN

REVISIONS	
NUMBER	DATE
1	1/20/00
2	2/4/00
3	2/7/00

DESIGN: JAM  
 GRAPHICS: CLM  
 REVIEW: CLK  
 DATE: DEC. 1999  
 SCALE: 1" = 40'  
 PROJECT: 99063

SHEET: 5 OF 15



□ = NDS #900 CATCH BASIN OR EQUAL



GRAPHIC SCALE: 1" = 40'-0"

D:\99\99063\BASED.WG



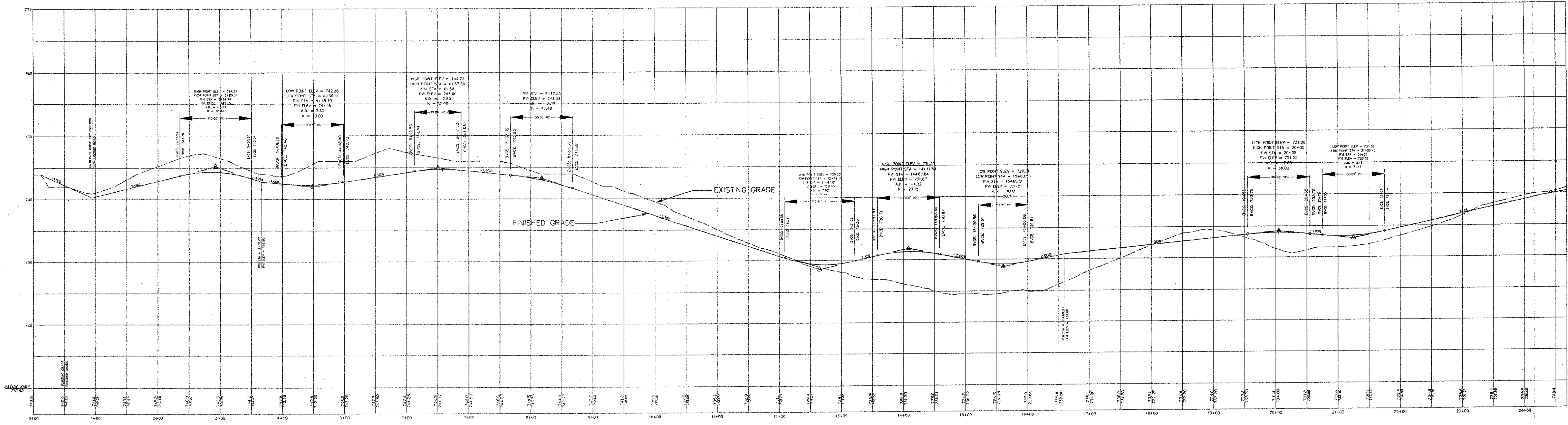




EMC ENGINEERING SERVICES, INC.  
 CIVIL MARINE ENVIRONMENTAL  
 Post Office Box 8101  
 23 East Charlton Street  
 Savannah, Georgia 31412  
 Phone: (912) 232-2900  
 Fax: (912) 232-2900

DALTON FLATS APARTMENTS  
 DALTON, GEORGIA

PROFILES



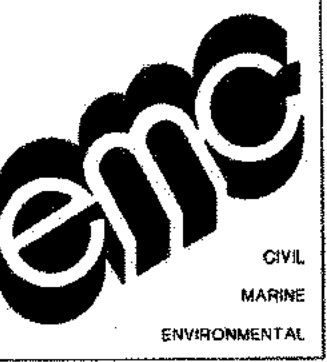
ROADWAY CENTERLINE PROFILE  
 H: 1"=80'  
 V: 1"=8'

C:\99A\99063\ROAD\PRC\LEDWG



REVISIONS	
NUMBER	DATE

DESIGN: JAM  
 GRAPHICS: CLM  
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 DATE: DEC. 1999  
 SCALE: AS SHOWN  
 PROJECT: 99063



EMC ENGINEERING SERVICES, INC.  
 Civil  
 Marine  
 Environmental

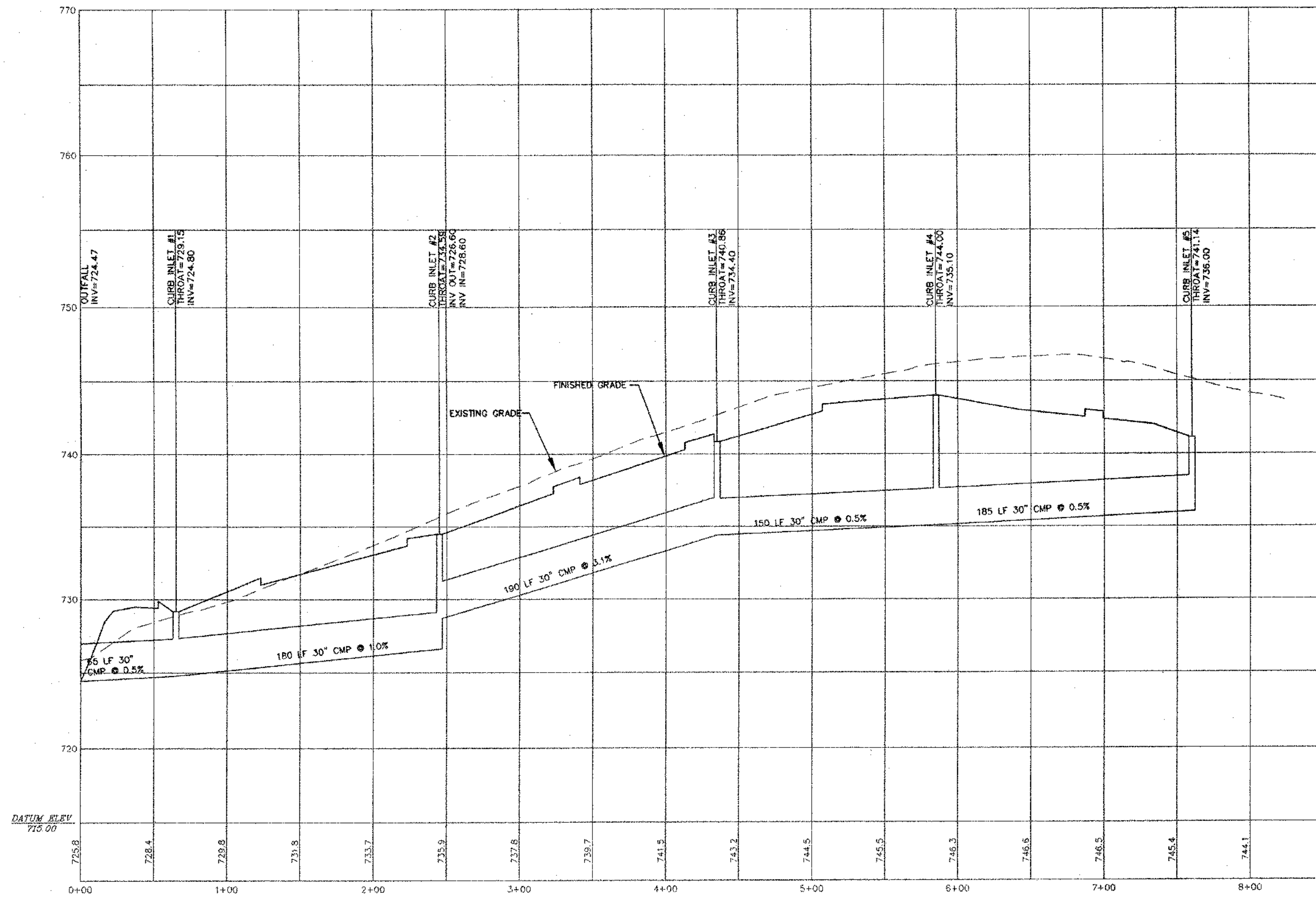
DALTON FLATS APARTMENTS  
 DALTON, GEORGIA

PROFILES

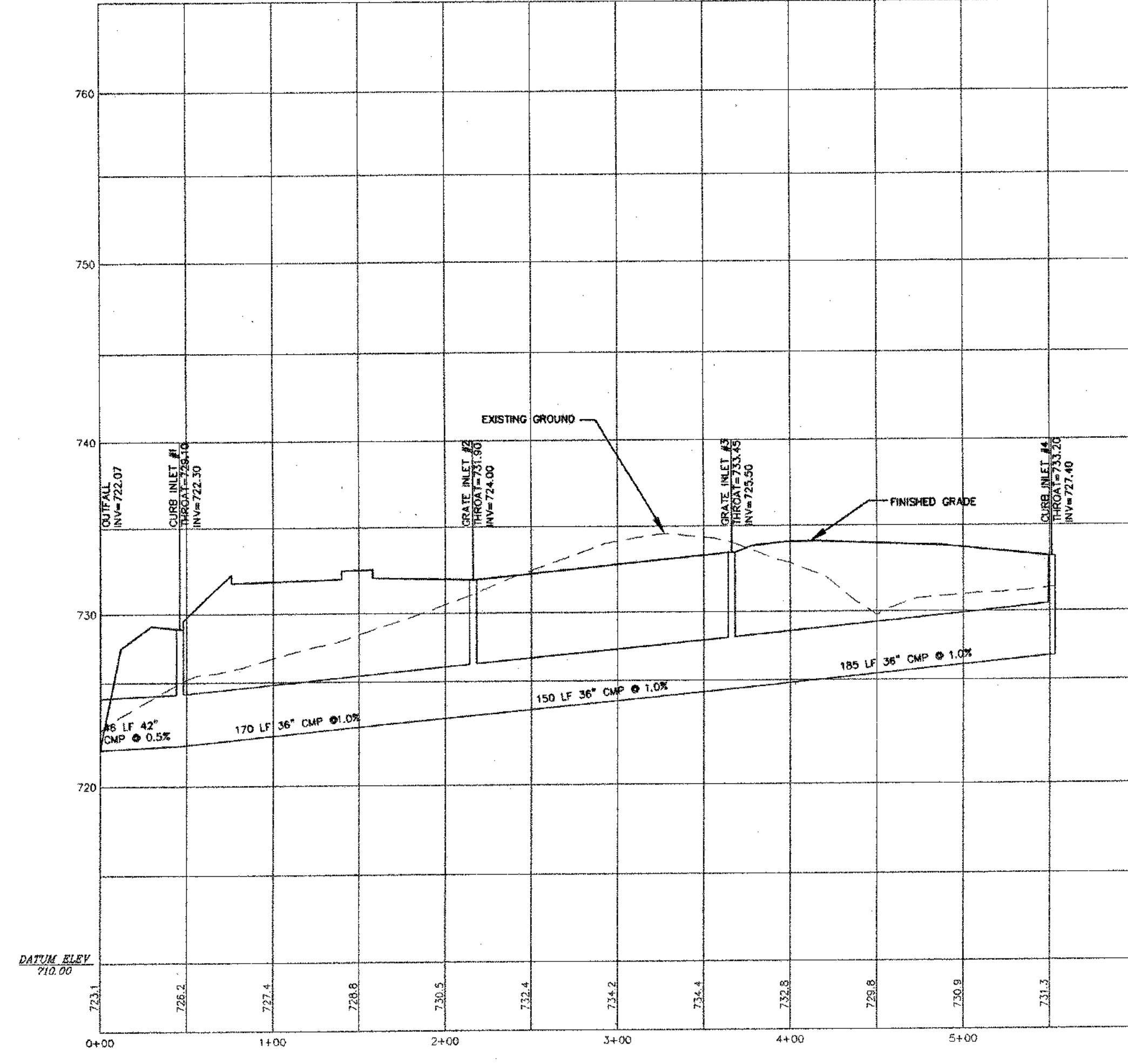
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NUMBER	DATE
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-	-
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DATE:	DEC. 1999
SCALE:	AS SHOWN
PROJECT:	99063

SHEET: 8 OF 15



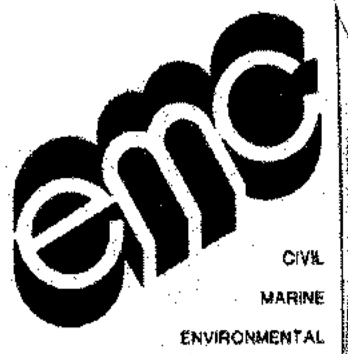
STORM DRAIN "A" PROFILE  
 H: 1"=60'  
 V: 1"=6'



STORM DRAIN "B" PROFILE  
 H: 1"=60'  
 V: 1"=6'



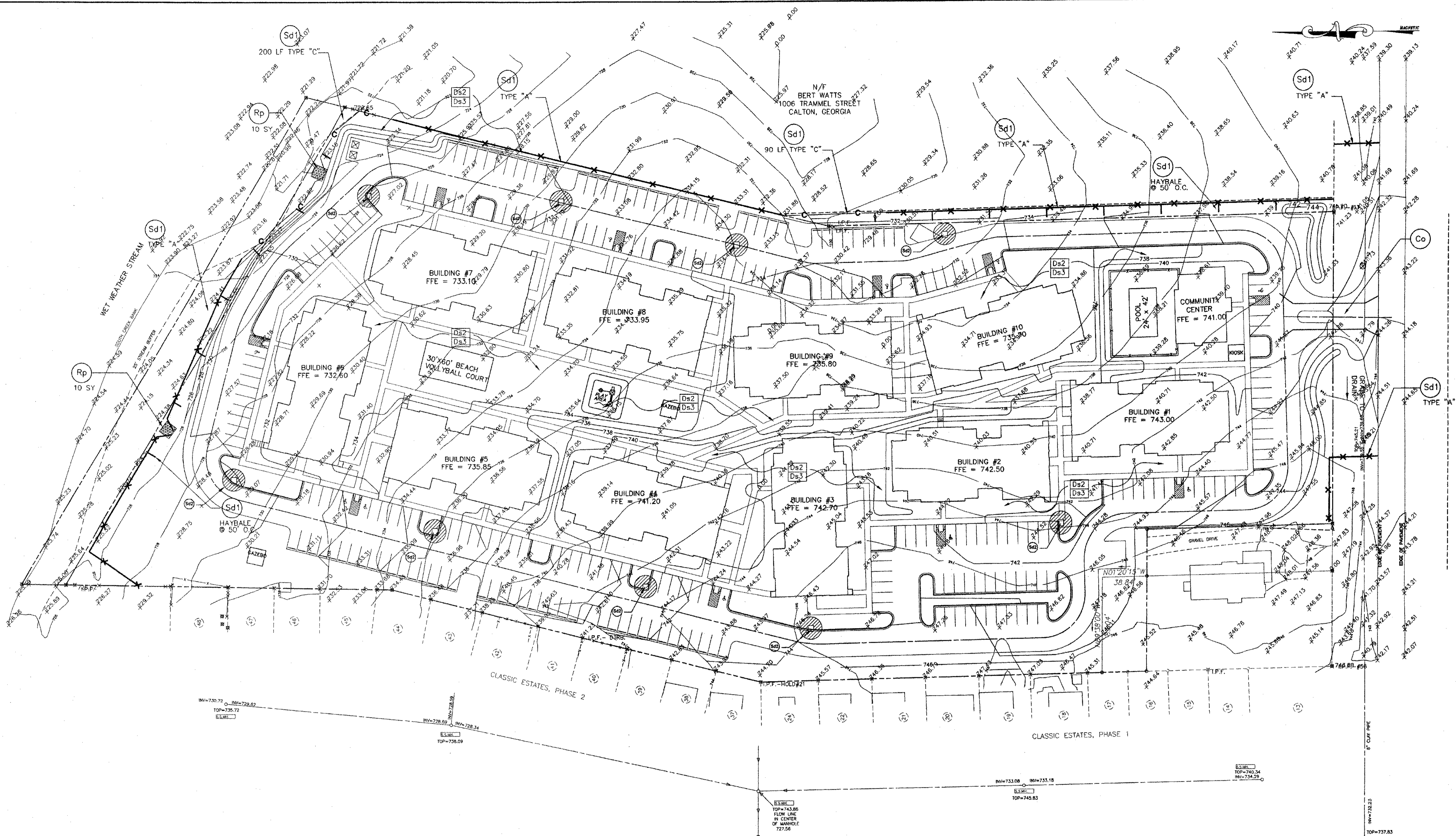




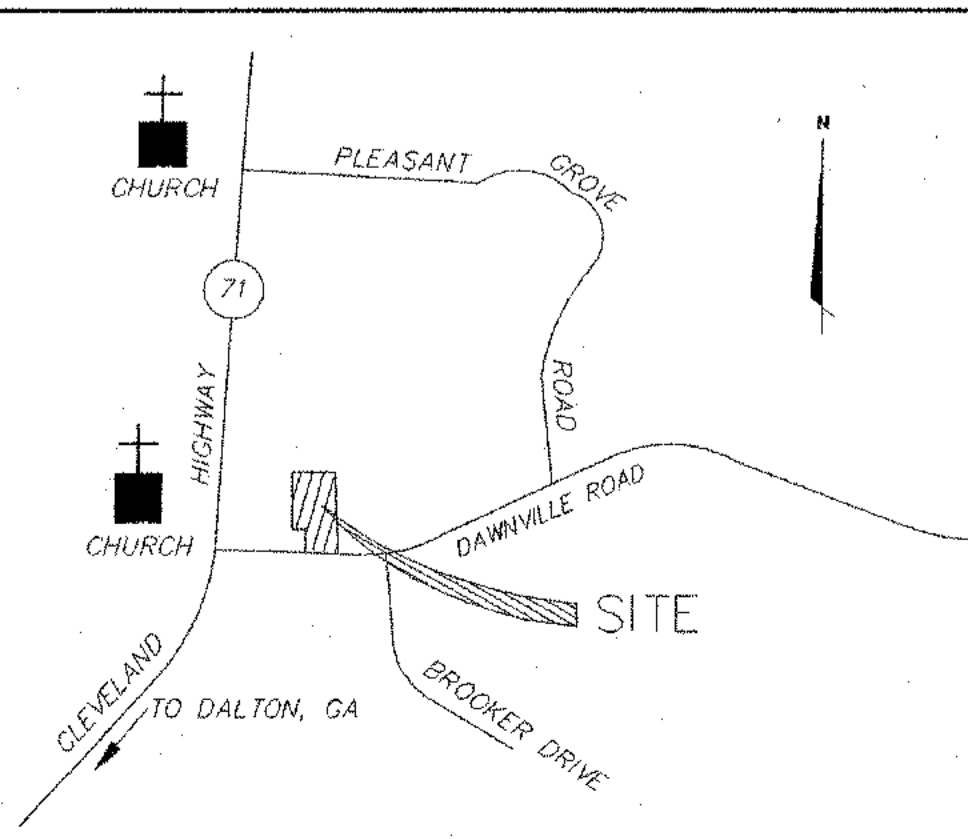
EMC ENGINEERING SERVICES, INC.  
 Post Office Box 8101  
 23 East Charlton Street  
 Savannah, GA 31401  
 Phone: (912) 232-6532  
 Fax: (912) 232-2920

**DALTON FLATS APARTMENTS  
 DALTON, GEORGIA**

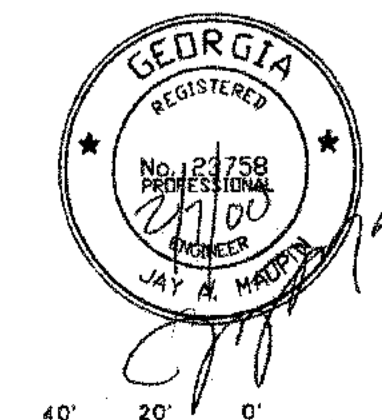
**SOIL EROSION AND SEDIMENT  
 CONTROL PLAN**



**VICINITY MAP**  
(NOT TO SCALE)



- NOTES:**
1. ALL FIELD INFORMATION HAS BEEN PROVIDED BY JOE R. EVANS & ASSOCIATES LAND SURVEYORS, DUG GAP ROAD, DALTON, GA 30702
  2. THIS PROJECT IS LOCATED IN LAND LOT 102, 12TH DISTRICT, 3RD SECTION WHITEFIELD COUNTY, GA.
  3. THE SOILS FOR THIS SITE ARE CONASAUGA SILT LOAM, 6 TO 10 PERCENT. CANASAUGA - THIS MODERATELY DEEP, MODERATELY WELL DRAINED SOIL IS ON UPLANDS. THE SUBSOIL IS CLAYEY AND EXTENDS TO A DEPTH OF 20 TO 40 INCHES. DEPTH TO WEATHERED SHALE BEDROCK IS 20 TO 40 INCHES. PERMEABILITY IS SLOW AND AVAILABLE WATER CAPACITY IS MODERATE.



GRAPHIC SCALE: 1" = 40'-0"

REVISIONS	
NUMBER	DATE
1	1/20/00
2	2/4/00
3	2/7/00

DESIGN: JAM  
 GRAPHICS: CLM  
 REVIEW: CLK  
 DATE: DEC. 1999  
 SCALE: 1" = 40'  
 PROJECT: 99063

0:39:54P:99063 BASE.DWG

**EROSION AND SEDIMENT NARRATIVE NOTES:**

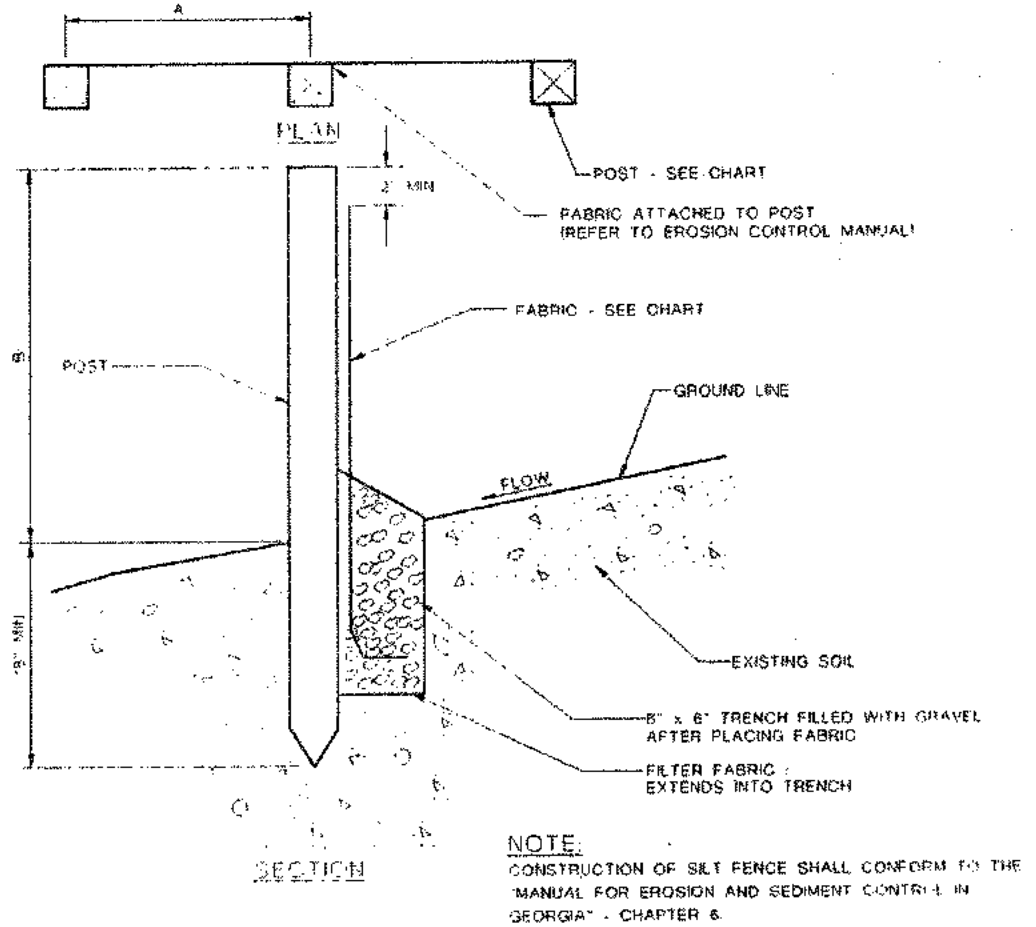
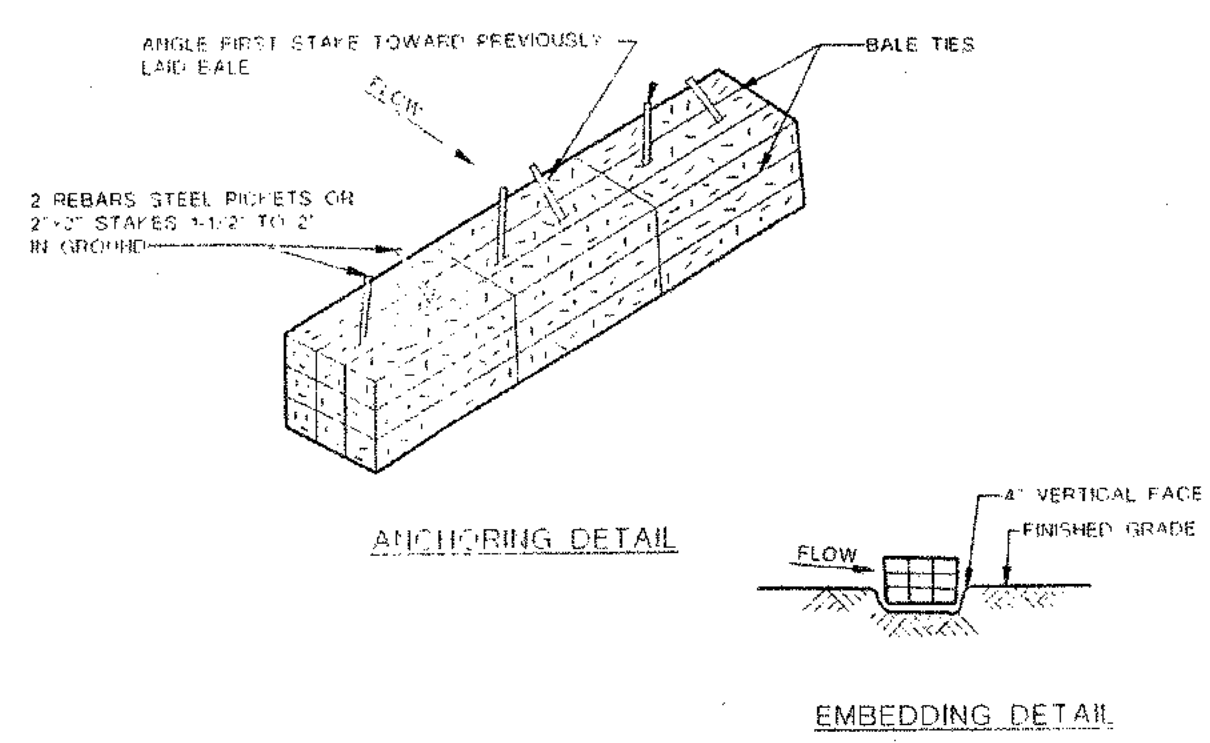
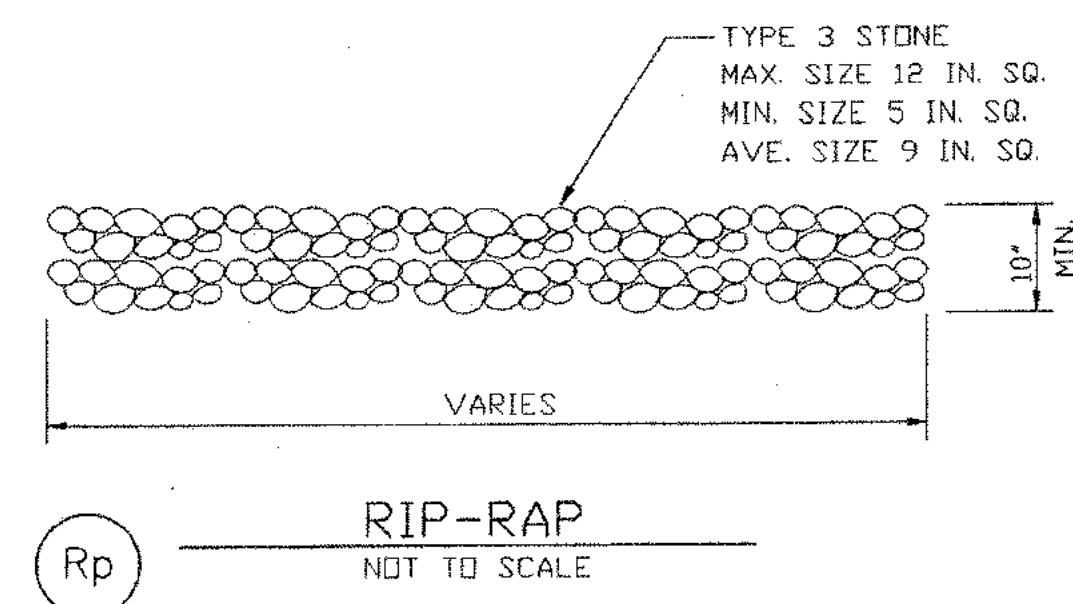
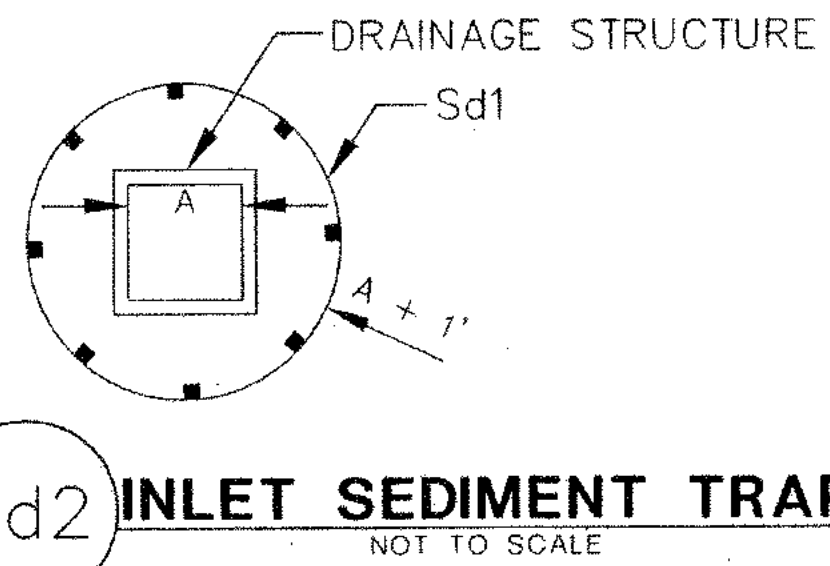
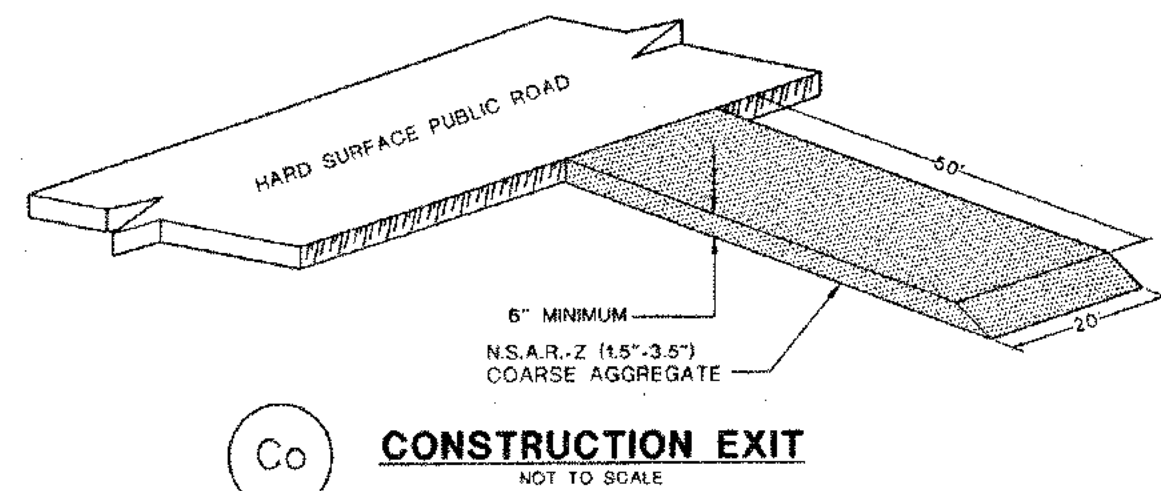
- REFER TO CHAPTER 6 OF "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" FOR MINIMUM STANDARDS AND SPECIFICATIONS FOR DESIGN AND INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES.
- Co** CONSTRUCTION EXIT: A STONE PAD SHALL BE PLACED WHERE INDICATED DESIGNATED EXITS TO PAVED STREETS TO ELIMINATE TRANSFER OF MUD TO PUBLIC STREETS.
- Sd1** SEDIMENT BARRIER - SILT FENCE SHALL BE INSTALLED WHERE INDICATED ON THE PLANS TO CONTROL SEDIMENT CARRIED BY SHEET FLOWING RUNOFF. THE FENCE MUST BE PROPERLY INSTALLED ACCORDING TO THE DETAILS PROVIDED IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA (CHP. 6). THE FENCE FABRIC MUST MEET GEORGIA D.O.T. STANDARD SPECIFICATIONS.
- Sd2** TEMPORARY SEDIMENT TRAP - A PROTECTIVE DEVICE SHALL BE INSTALLED AROUND ALL STORM DRAIN INLETS TO PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEMS.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- Ds2** DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDINGS) - A TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON AREAS SUBJECT TO EROSION FOR UP TO TWELVE MONTHS OR UNTIL ESTABLISHMENT OF FINISHED GRADE OR PERMANENT VEGETATIVE COVER. SELECT A GRASS OR GRASS-LEGUME MIXTURE SUITABLE TO THE AREA AND SEASON OF THE YEAR. (REFER TO TABLE 8-24.1 OF THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"). TEMPORARY VEGETATIVE MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL AND EFFECTIVE STABILIZATION.
- St** STORM DRAIN OUTLET PROTECTION - A PAVED AND/OR RIPRAPPED CHANNEL SECTION PLACED BELOW STORM DRAIN OUTLETS TO REDUCE THE VELOCITY OF FLOW BEFORE ENTERING RECEIVING CHANNELS.
- Ds3** PERMANENT VEGETATION - PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL DISTURBED AREAS NOT TO BE PAVED, AS SOON AS POSSIBLE AFTER CONSTRUCTION. THE FOLLOWING SEEDING SEEDING INFORMATION SHALL APPLY, OR AS NOTED ON THE LANDSCAPE:
  - A. SEEDBED PREPARATION - SCARIFY THE SOIL TO A DEPTH OF 1/4 INCHES, TO EXPOSE FRESH, MOIST SOIL. THIS MAY BE DONE WITH A DISK, RAKE, CHAIN HARROW, OR OTHER SUITABLE IMPLEMENT. ON SLOPES 2:1 OR STEEPER, THE GRADED SLOPE SHOULD BE PITTED, POCK-MARKED, OR TRENCHED ACROSS THE SLOPE TO PROVIDE DEPRESSIONS 6/8 INCHES APART FOR SEED TO LODGE AND GERMINATE.
  - B. PLANTING
    - HYDROSEEDING - APPLY SEED, FERTILIZER AND MULCH IN A SINGLE APPLICATION. LIME CAN EITHER BE ADDED TO HYDROSEEDER TANK MIX WITH OTHER INGREDIENTS, OR BROADCAST AFTER SEEDLINGS GERMINATE.
    - HAND PLANTING (CONVENTIONAL) - SEED, LIME AND FERTILIZER SHOULD BE BROADCAST UNIFORMLY OVER SOIL SURFACE. WHERE POSSIBLE, LIGHTLY COVER SEED BY DISKING OR RAKING. MULCH ALL SEEDED AREAS IMMEDIATELY, USING 2 1/2 TONS OF DRY STRAW OR HAY PER ACRE. MULCHING MATERIALS SHOULD BE FREE OF WEEDS THAT WILL COMPETE WITH PLANNED VEGETATION. MULCH SHOULD BE UNIFORMLY SPREAD OVER ALL SEEDED AREAS. A PROPERLY APPLIED MULCH WILL COVER 70-80% OF THE SOIL SURFACE, WITH NO CLUMPS.
  - C. SEED MIXTURES:
 

SEED SPECIES	APPLICATION/ACRE	PLANTING DATES
MIXTURE OF: BAHIA	60 LBS	1/1 - 12/31
MIXTURE OF: LESPEDEZA	40 LBS	2/1 - 5/1
MIXTURE OF: MILLET, PEARL	50 LBS	5/1 - 8/1
MIXTURE OF: RYE	158 LBS	8/1 - 12/1
MIXTURE OF: TALL FESCUE	50 LBS	8/1 - 11/1
  - D. FERTILIZING - APPLY 6-12-12 FERTILIZER AT THE RATE OF 35 POUNDS PER 1,000 SQUARE FEET, RAKING LIGHTLY INTO THE SOIL.
  - E. LIME - APPLY AGRICULTURAL LIME AT A RATE OF 2 TONS PER ACRE. THE AGRICULTURAL LIME SHALL MEET THE SPECIFICATIONS OF THE GEORGIA DEPARTMENT OF AGRICULTURE.
  - F. MULCHING - WHEAT STRAW IS TO BE SPREAD LIGHTLY OVER SEEDED AREA AT THE RATE OF 1 BALE PER 500 SQUARE FEET.
  - G. WATERING - WATER IMMEDIATELY AFTER MULCHING.
  - H. MAINTENANCE OF ESTABLISHED VEGETATION
    - FALL SEEDED GRASSES - DURING THE FIRST GROWING SEASON AFTER THE GRASS IS ESTABLISHED, FERTILIZE WITH 1,000#/ACRE OF 6-12-12. IN FUTURE YEARS, FERTILIZE BY SOIL TEST, OR APPLY 400#/ACRE OF AMMONIUM NITRATE TOP DRESSING IN EARLY SPRING. MOW ANNUALLY TO PREVENT TREES AND BRUSH. RE-SEED BARE AREAS.
    - SPRING SEEDED GRASSES - DURING THE FIRST GROWING SEASON AFTER THE GRASS IS ESTABLISHED, FERTILIZE WITH 800#/ACRE OF 6-12-12. IN FUTURE YEARS, FERTILIZE BY SOIL TEST, OR APPLY 400#/ACRE OF 10-10-10 IN EARLY SUMMER PLUS 100#/ACRE OF AMMONIUM NITRATE TOP DRESSING MID SUMMER. MOW ANNUALLY TO PREVENT TREES AND BRUSH. RE-SEED BARE AREAS.
- MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE OWNER. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ISSUING AUTHORITY.
- THE PROJECT CONSISTS OF 8.83 ACRES. THE OWNERS INTENT IS TO GRADE THE SITE FOR USE AS AN APARTMENT COMPLEX.
- ACCORDING TO FIRM FLOOD INSURANCE RATE MAP, COMMUNITY NO. 130193, PANEL NO. 0125C, DATED FEBRUARY 16, 1990 THIS SITE LIES ENTIRELY WITHIN FLOOD HAZARD ZONE X, WHICH IS DETERMINED TO BE OUTSIDE OF THE 100-YEAR FLOOD PLAN.
- ALL DEBRIS MATERIAL IS TO BE HAULED OFF-SITE. BURIED DEBRIS ON SITE IS NOT PERMITTED.
- THIS SITE DOES NOT HAVE WETLANDS, THEREFORE NO BUFFERS ARE REQUIRED. A 25' UNDISTURBED BUFFER IS SHOWN ALONG THE CREEK WHICH BORDERS THE NORTH PROPERTY LINE.
- THE POINT OF CONTACT FOR CIVIL SITE WORK FOR THIS PROJECT IS: CLIFTON L. KENNEDY, P.E. EMC ENGINEERING SERVICES, INC. P.O. BOX 8101 SAVANNAH, GA 31412 (912) 232-8533
- DEVELOPER/OWNER: DALTON FLATS APARTMENTS, LP 1125 ELKINS ROAD, SUITE C-1 ROSWELL, GA 30076 (770) 772-4685
- TWENTY-FOUR HOUR CONTACT RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL: JOHN CICHON SOUTH GREEN CONSTRUCTION 1880 E. WORTON RD PHOENIX, AZ 85020 M (512) 658-0284

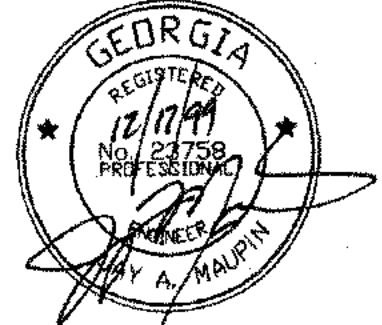
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT			A CRUSHED STONE PAD LOCATED AT THE CONSTRUCTION SITE EXIT TO PROVIDE A PLACE FOR REMOVING MUD FROM TIRES THEREBY PROTECTING PUBLIC STREETS.
Sd1	SEDIMENT BARRIER			A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE SANDFILL, BALES OF STRAW OR HAY, BRUSH LOGS AND POLES, DRIVEN, OR A SEDIMENT FENCE. THE BARRIERS ARE USUALLY TEMPORARY AND INEXPENSIVE.
Sd2	INLET SEDIMENT TRAP			AN IMPOUNDING AREA CREATED BY EXCAVATING AROUND A STORM DRAIN INLET. THE EXCAVATED AREA WILL BE FILLED AND STABILIZED ON COMPLETION OF CONSTRUCTION ACTIVITIES.
St	STORM DRAIN INLET/OUTLET PROTECTION			A PAVED OR RIPRAPPED SECTION OF RIPRAP CHANNEL AT THE INLET/OUTLET OF A STORM DRAIN SYSTEM PREVENTING EROSION FROM THE CONCENTRATED RUNOFF.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)			ESTABLISHING A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)			ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOCS, OR LEGUMES ON DISTURBED AREAS.

	TENTATIVE ACTIVITY SCHEDULE			
	JAN 2000	FEB 2000	MAR 2000	APR 2000
CLEARING AND GRUBBING				
CONSTRUCTION EXIT (Co)				
SEDIMENT BARRIER (Sd1)				
DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) (Ds2)				
DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) (Ds3)				
GRADING				
PAVING				
BUILDING CONSTRUCTION				

THE INSTALLATION OF EROSION CONTROL AND SEDIMENT CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES



	A (1/2" MAX)	B (MIN)	POST	FABRIC
TYPE A	6"	20"	1/2" TREATED WOOD	36" DOT APPROVED FABRIC
TYPE B	6"	18"	1/2" TREATED WOOD	22" DOT APPROVED FABRIC
TYPE C	4"	18"	1.5 R/4" STEEL	36" DOT APPROVED FABRIC BY W/WE BACKING



**EMC ENGINEERING SERVICES, INC.**  
22 East Charlton Street  
Savannah, Georgia 31401  
Phone: (912) 232-8533  
Fax: (912) 232-2920

**DALTON FLATS APARTMENTS**  
**DALTON, GEORGIA**

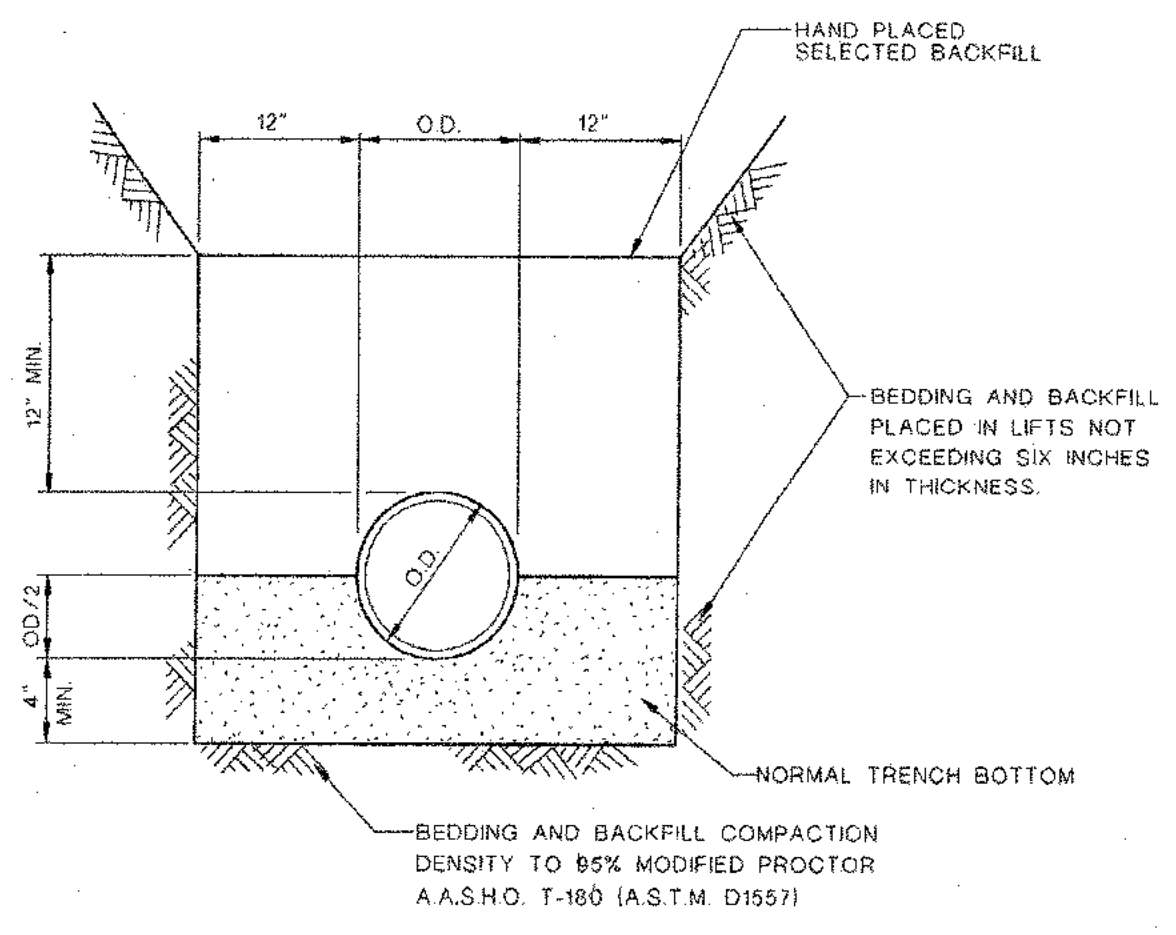
**SOIL EROSION AND SEDIMENT CONTROL NOTES**

REVISIONS	
NUMBER	DATE

DESIGN:	JAM
GRAPHICS:	CLM
REVIEW:	CLK
DATE:	DEC. 1999
SCALE:	N.T.S.
PROJECT:	99063

SHEET: **11** OF 15

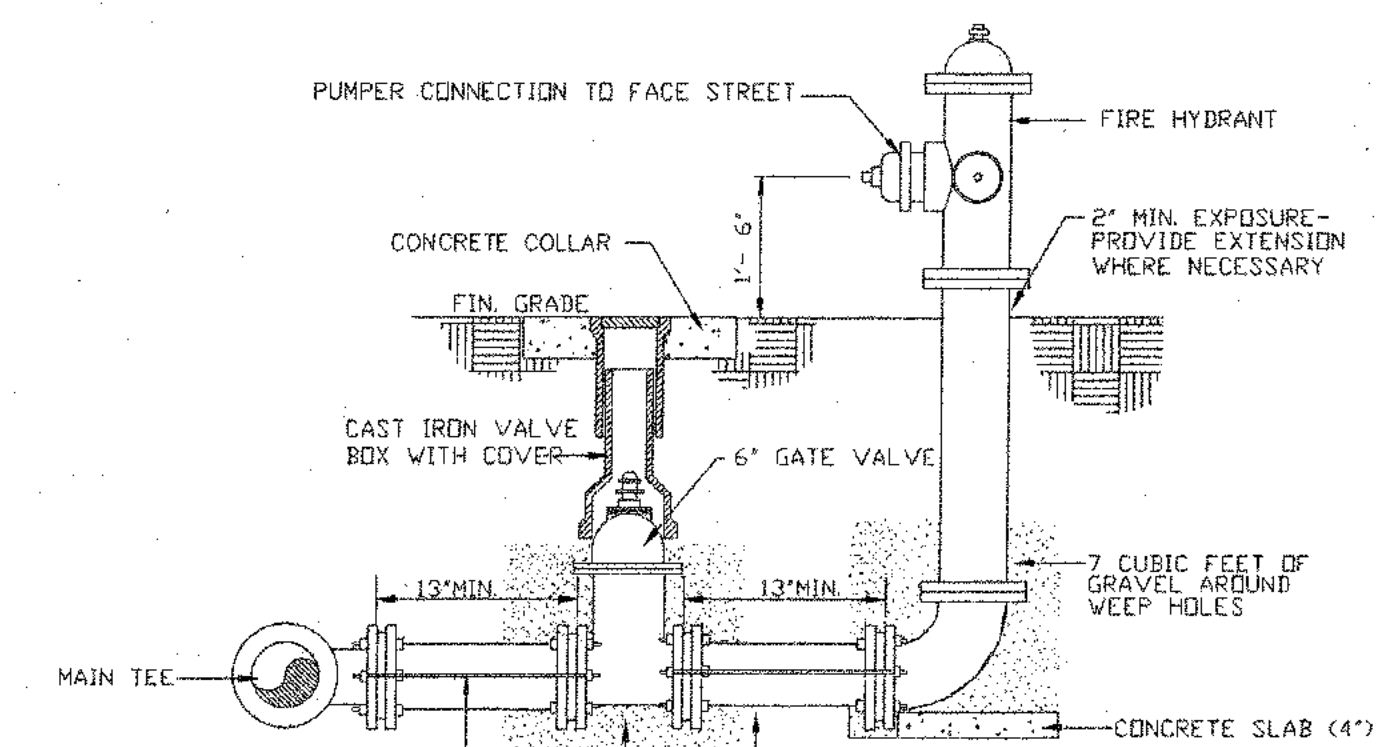




**BEDDING NOTES:**

- ALL BEDDING FOR PVC GRAVITY SEWER PIPE WILL BE IN COMPLIANCE WITH (A.S.T.M. D2321-74).
- NORMALLY CLEAN BACKFILL SHALL BE AS A 6" MIN. BEDDING HOWEVER, WHERE UNSTABLE TRENCH BOTTOM CONDITIONS ARE ENCOUNTERED, AS DETERMINED BY THE INSPECTING ENGINEER A SUFFICIENT DEPTH OF THE UNSTABLE SOIL SHALL BE REMOVED AND REPLACED WITH 1/4" - 3/4" CRUSHED STONE, GRAVEL (U.S.C.S SOIL CLASSIFICATION - CLASS ONE) OR CRUSHED SHELL TO THE SPRING LINE OF THE PIPE TO STABILIZE THE PIPE BEDDING. WHEN DRY UNSUITABLE MATERIAL (IE HARDPAN) IS ENCOUNTERED AT THE TRENCH BOTTOM, GRADED SANDS MAY BE USED FOR PIPE BEDDING.

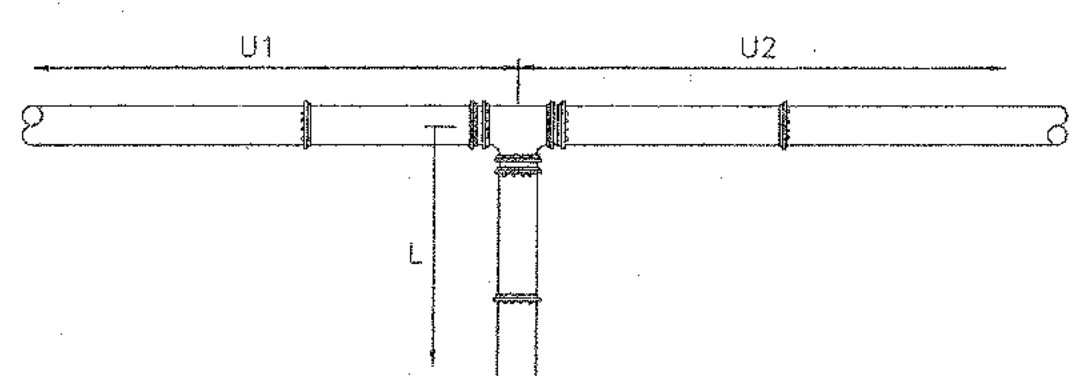
**WATER MAIN BEDDING**  
NOT TO SCALE



**NOTES:**

- ALL JOINTS FROM MAIN TO HYDRANT SHALL BE RESTRAINED.
- PROTECT BOLTS AND THREADS FROM CONCRETE.

**FIRE HYDRANT**  
NOT TO SCALE



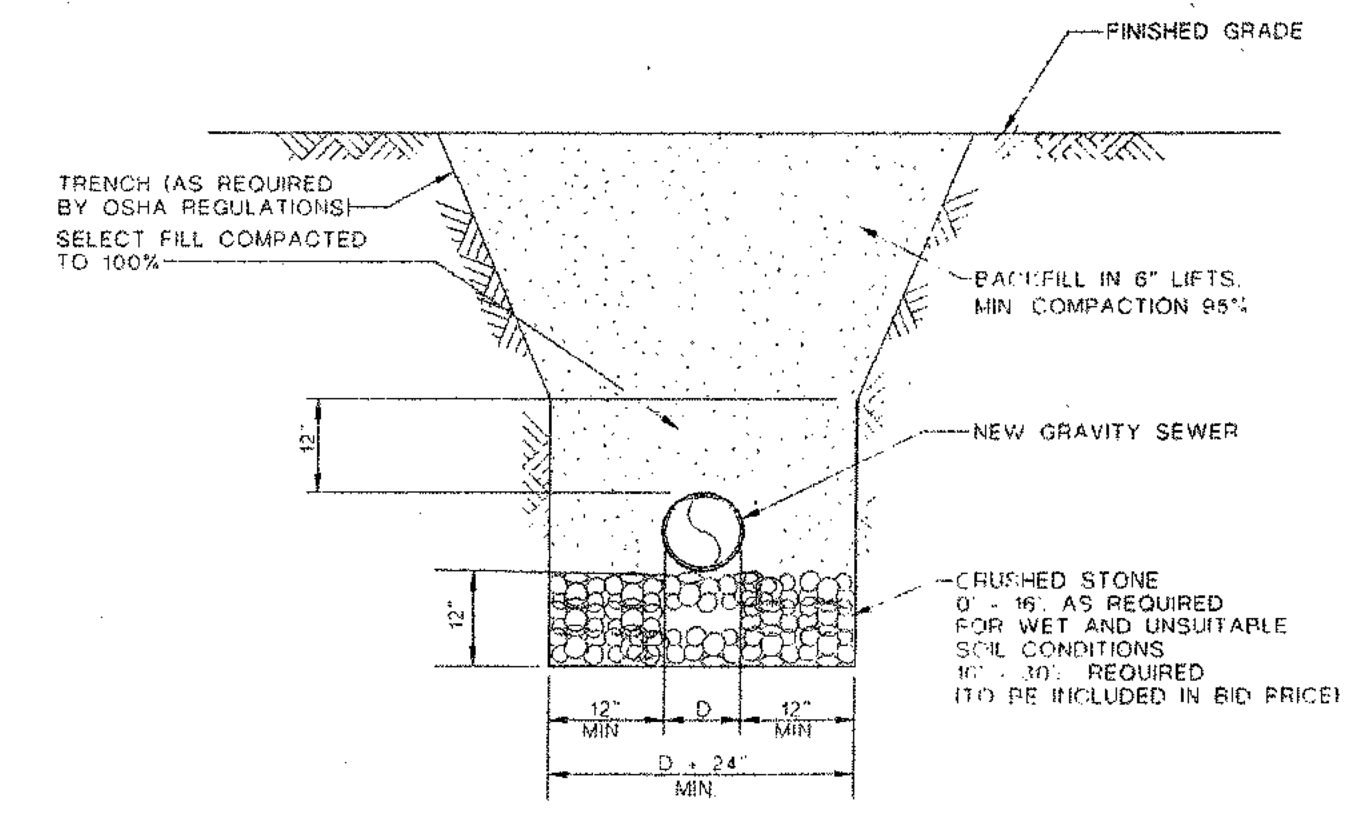
**NOTES:**

- LENGTH OF RESTRAINT SHOWN IS IN FEET.
- WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.
- U1 AND U2 = UNINTERUPTED STRAIGHT RUNS OF PIPE IN EACH DIRECTION.
- U = THE SMALLER OF U1 OR U2
- L = MINIMUM RESTRAINED LENGTH ALONG THE BRANCH.
- WHERE U IS LESS THAN 5', RESTRAIN TEE AS A 90° HORIZONTAL BEND.

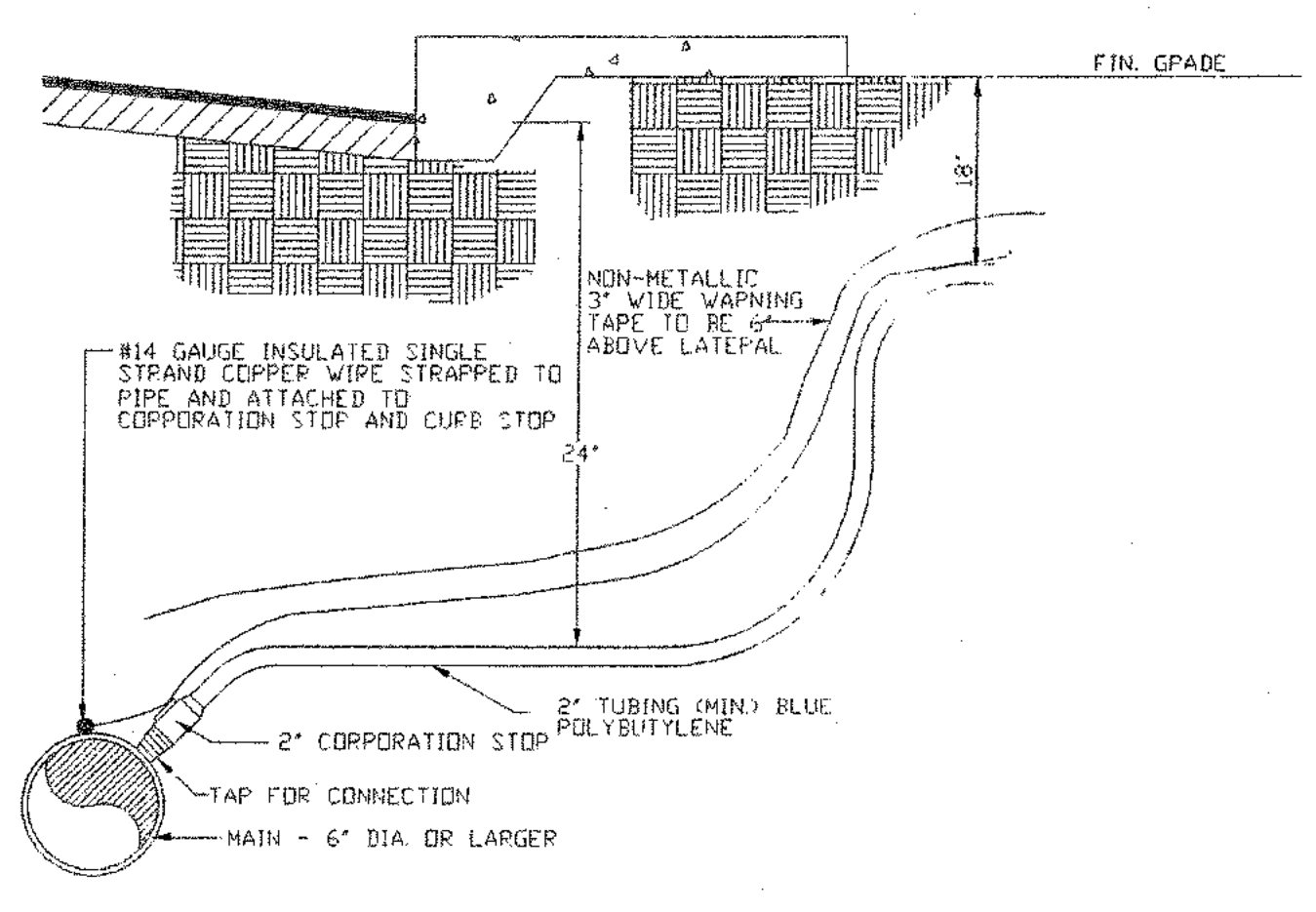
TEE	PVC LINE			
	5'-10'	11'-20'	21'-35'	> 35'
4X4	43	28	4	*
6X4	38	17	*	*
6X6	64	49	25	*
8X4	34	6	*	*
8X6	61	42	10	*
8X8	87	72	48	12

MINIMUM RESTRAINED LENGTH (L)  
\*RESTRAIN AT TEE ONLY.

**TEE RESTRAINT (PVC LINE)**  
NOT TO SCALE

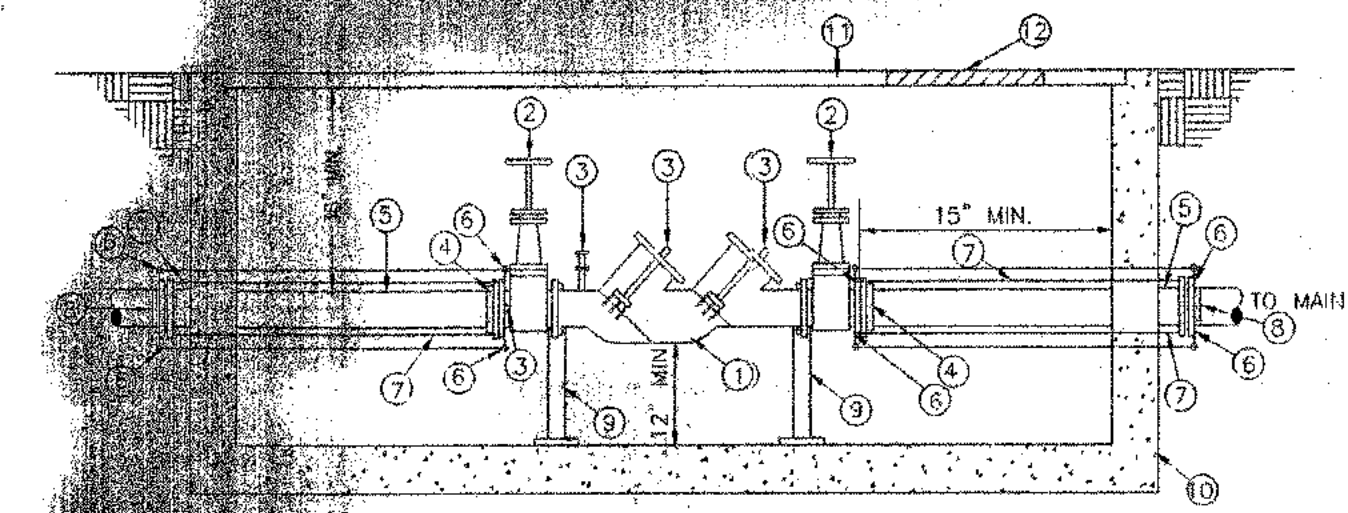


**SANITARY SEWER BEDDING PVC AND D.I. PIPE**



**NOTE:** ALL FITTINGS IN LATERAL SHALL BE COMPRESSION TYPE.

**WATER SERVICE LATERAL**  
NOT TO SCALE



**MATERIALS**

ITEM QUAN	DESCRIPTION
1	DOUBLE CHECK VALVE ASSEMBLY
2	NON-RISING RESILIENT SEAT GATE VALVES
3	TEST COCKS
4	COMPANION FLANGE
5	DUCTILE IRON PIPE, CUT TO FIT
8	CARBON STEEL EYE BOLTS
7	3/4 GALV. ALL THREAD ROD
8	MEGA LUG OR EQUIVALENT FOR DUCTILE PIPE
9	2 2" SCH. 40 GALV. PIPE STAND & BASE BOLTED TO FLANGE
10	PIT-CEMENT BLOCK, POURED CONCRETE, OR PREFABRICATED BOX PER CITY SPECS.
11	3/8 ALUM. FLOOR PLATE / HATCH COVER W/FLUSH HANDLE
12	2" X 2" MIN. HATCH

**DOUBLE CHECK VALVE ASSEMBLY**  
NOT TO SCALE

**DUCTILE IRON LINE**

REDUCER	U	L
6X4	30	21
8X4	72	38
8X6	29	22
10X4	123	51
10X6	63	38
10X8	26	21
12X4	186	64
12X6	106	53
12X8	59	39
12X10	26	21
16X6	214	79
16X8	141	68
16X10	91	56
16X12	54	40
20X10	174	84
20X12	123	71
20X16	51	40
24X12	207	97
24X16	113	72
24X20	48	39

**PVC LINE**

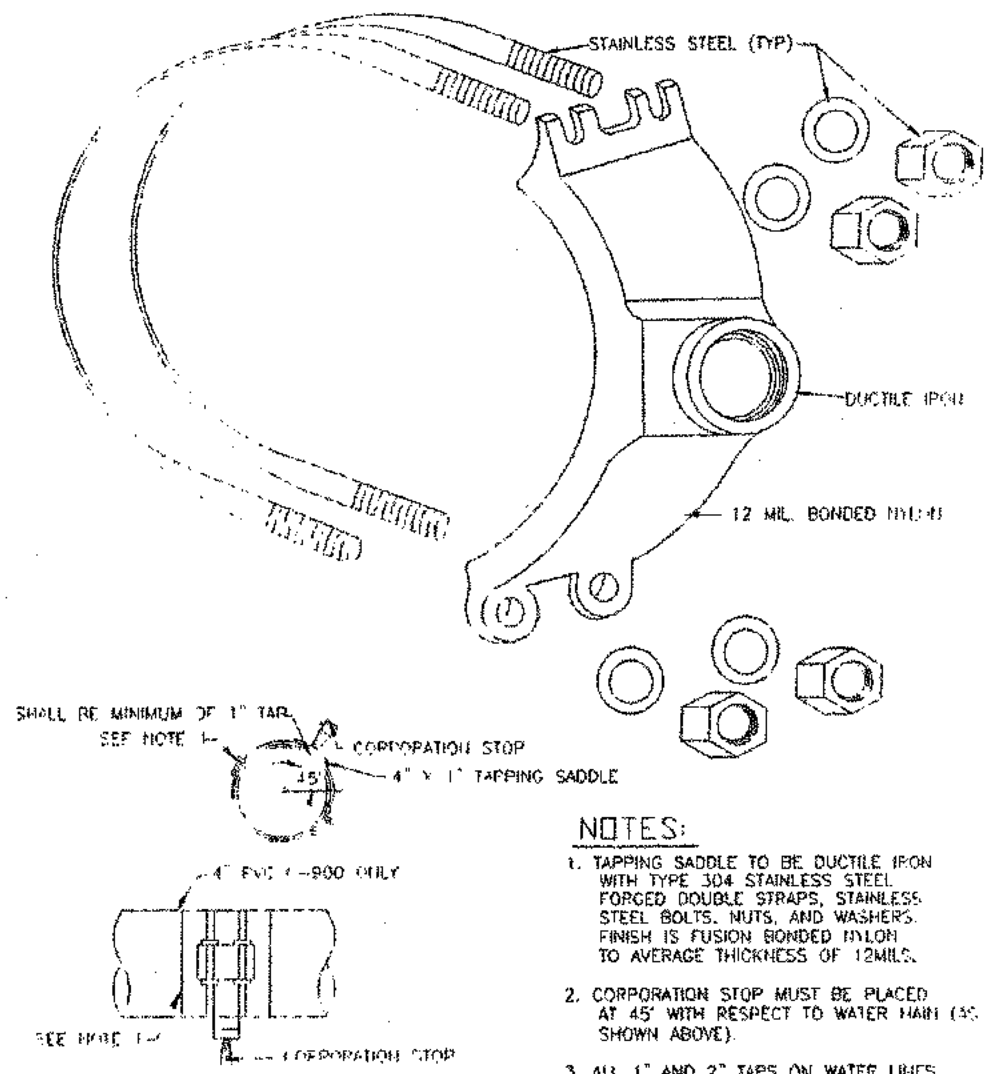
REDUCER	U	L
6X4	56	38
8X4	134	69
8X6	53	40
10X4	227	94
10X6	117	71
10X8	49	39
12X4	343	118
12X6	196	99
12X8	109	72
12X10	48	40

U = MINIMUM UNINTERUPTED STRAIGHT RUN OF PIPE ON SMALL SIDE OF REDUCER.  
L = MINIMUM RESTRAINED LENGTH.  
\* WHERE MINIMUM "U" IS NOT MET, PIPE ON LARGE SIDE OF REDUCER SHALL BE RESTRAINED FOR A MINIMUM OF 1" FEET.

**NOTES:**

- LENGTH OF RESTRAINT SHOWN IS IN FEET.
- WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

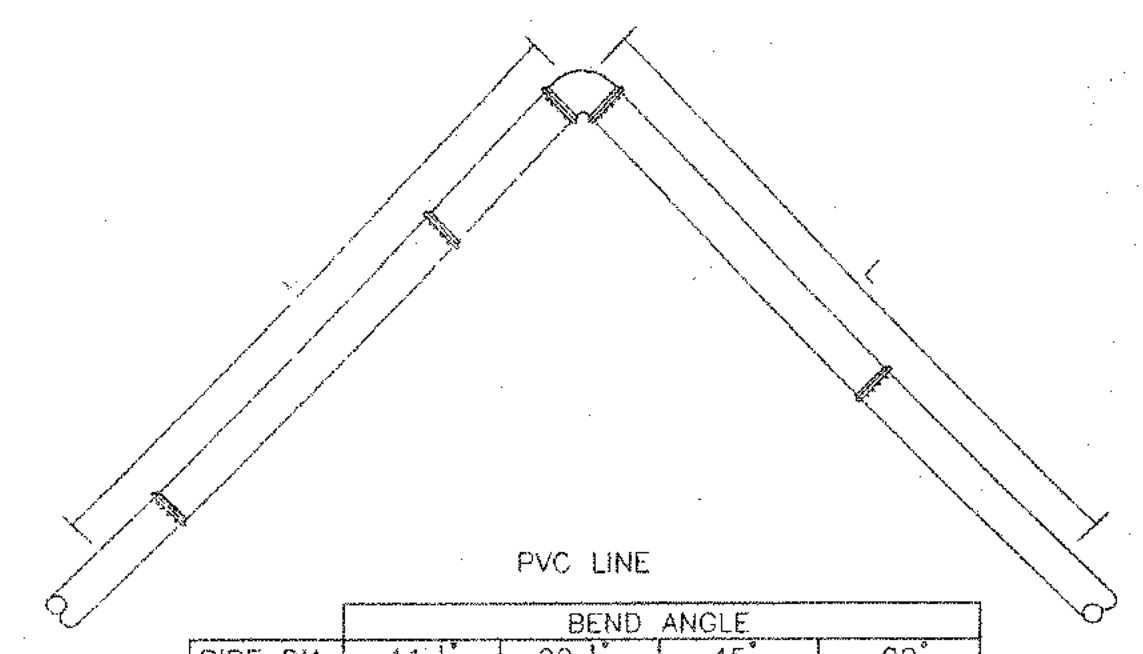
**REDUCER RESTRAINT**  
NOT TO SCALE



**NOTES:**

- TAPPING SADDLE TO BE DUCTILE IRON WITH TYPE 304 STAINLESS STEEL FORGED DOUBLE STRAP, STAINLESS STEEL BOLTS, NUTS, AND WASHERS. FINISH IS FUSION BONDED FLUOR TO AVERAGE THICKNESS OF 12MILS.
- CORPORATION STOP MUST BE PLACED AT 45° WITH RESPECT TO WATER MAIN (AS SHOWN ABOVE).
- ALL 1" AND 2" TAPS ON WATER MAINS SMALLER THAN 675MM (26.5") WILL REQUIRE A TAPPING SADDLE. ALL TWO INCH (50.8) TAPS WILL REQUIRE A TAPPING SADDLE, REGARDLESS OF WATER MAIN SIZE.

**1" AND 2" TAPPING SADDLE**  
NOT TO SCALE



**DUCTILE IRON LINE**

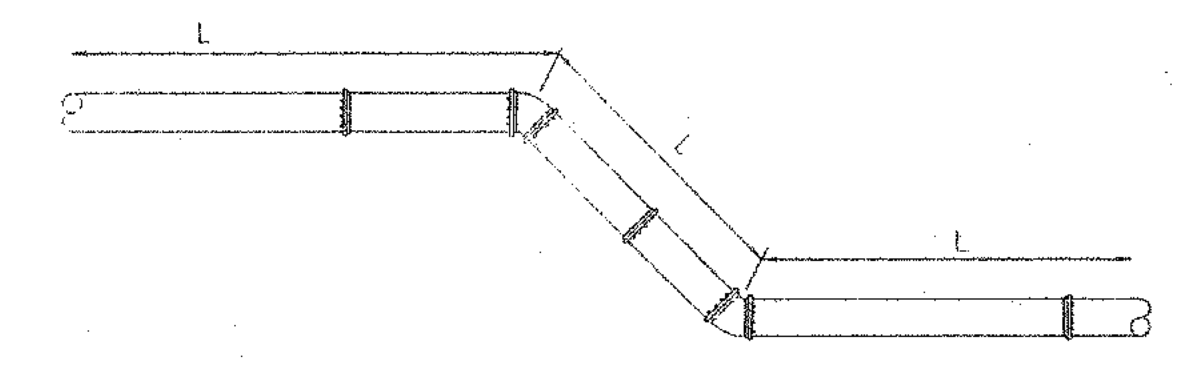
PIPE DIA.	11 1/2"	22 1/2"	45"	90"
4	2	4	8	20
6	3	6	12	28
8	4	7	15	36
10	4	9	18	43
12	5	10	21	51
16	6	13	27	65
20	8	16	33	79
24	9	18	38	92

MINIMUM RESTRAINED LENGTH (L)

**NOTES:**

- LENGTH OF RESTRAINT SHOWN IS IN FEET.
- WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

**HORIZONTAL BEND RESTRAINT**  
NOT TO SCALE



**DUCTILE IRON LINE**

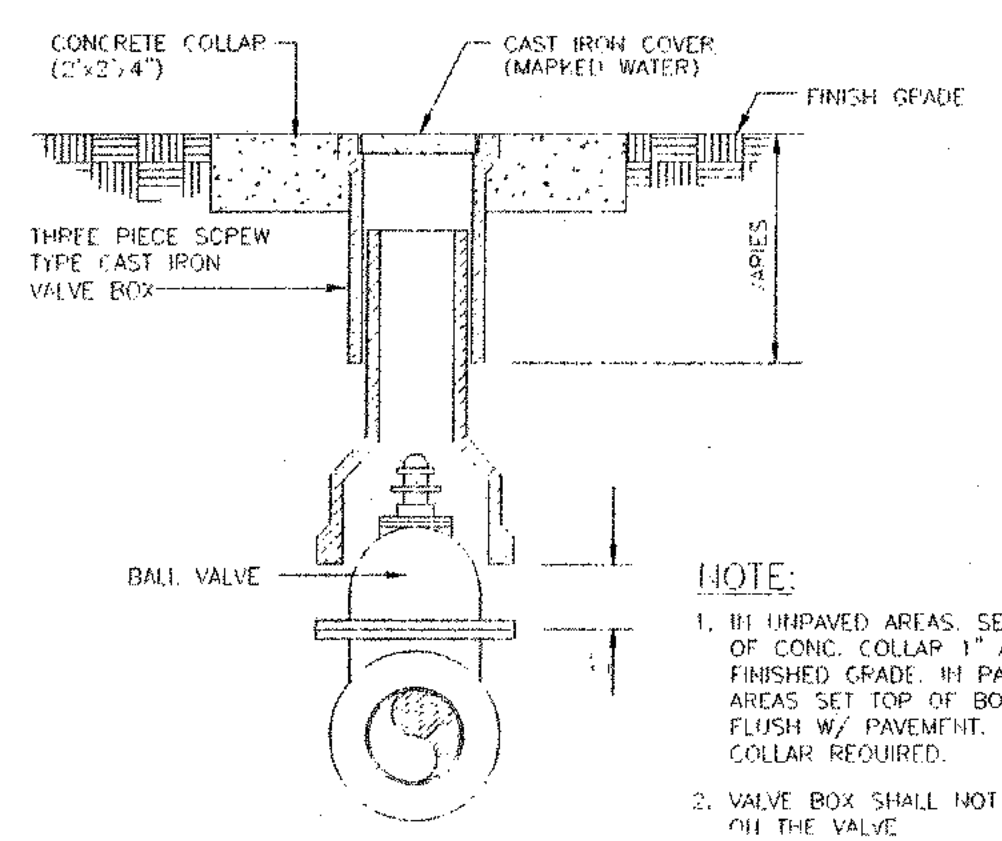
PIPE DIA.	11 1/2"	22 1/2"	45"	90"
4	3	6	12	28
6	4	8	17	40
8	4	10	22	52

MINIMUM RESTRAINED LENGTH (L)

**NOTES:**

- LENGTH OF RESTRAINT SHOWN IS IN FEET.
- WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

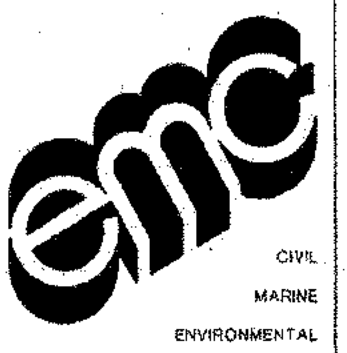
**VERTICAL BEND RESTRAINT**  
NOT TO SCALE



**NOTE:**

- IN UNPAVED AREAS, SET TOP OF CONC. COLLAR 1" ABOVE FINISHED GRADE. IN PAVED AREAS SET TOP OF BOX FLUSH W/ PAVEMENT. NO CONC. COLLAR REQUIRED.
- VALVE BOX SHALL NOT REST ON THE VALVE.

**VALVE BOX**  
NOT TO SCALE



**EMC ENGINEERING SERVICES, INC.**  
CIVIL MARINE ENVIRONMENTAL  
Post Office Box 8101  
23 East Charlton Street  
Savannah, Georgia 31412  
Phone: (912) 433-6333  
Fax: (912) 432-8260

**PREPARED FOR:**  
**IRONWOOD DEVELOPMENT, LLC**  
**11285 ELKINS ROAD SUITE C-1**  
**ROSWELL, GEORGIA 30076**

**CONSTRUCTION DETAILS**

**REVISIONS**

NUMBER	DATE

DESIGN: JAM  
GRAPHICS: CLM  
REVIEW: CLK  
DATE: DEC 1999  
SCALE: N.T.S.  
PROJECT: 99063.40

